

# THE CYPRESS (C)

Address  
7316 NW 159th Terrace  
Oklahoma City, OK 73013

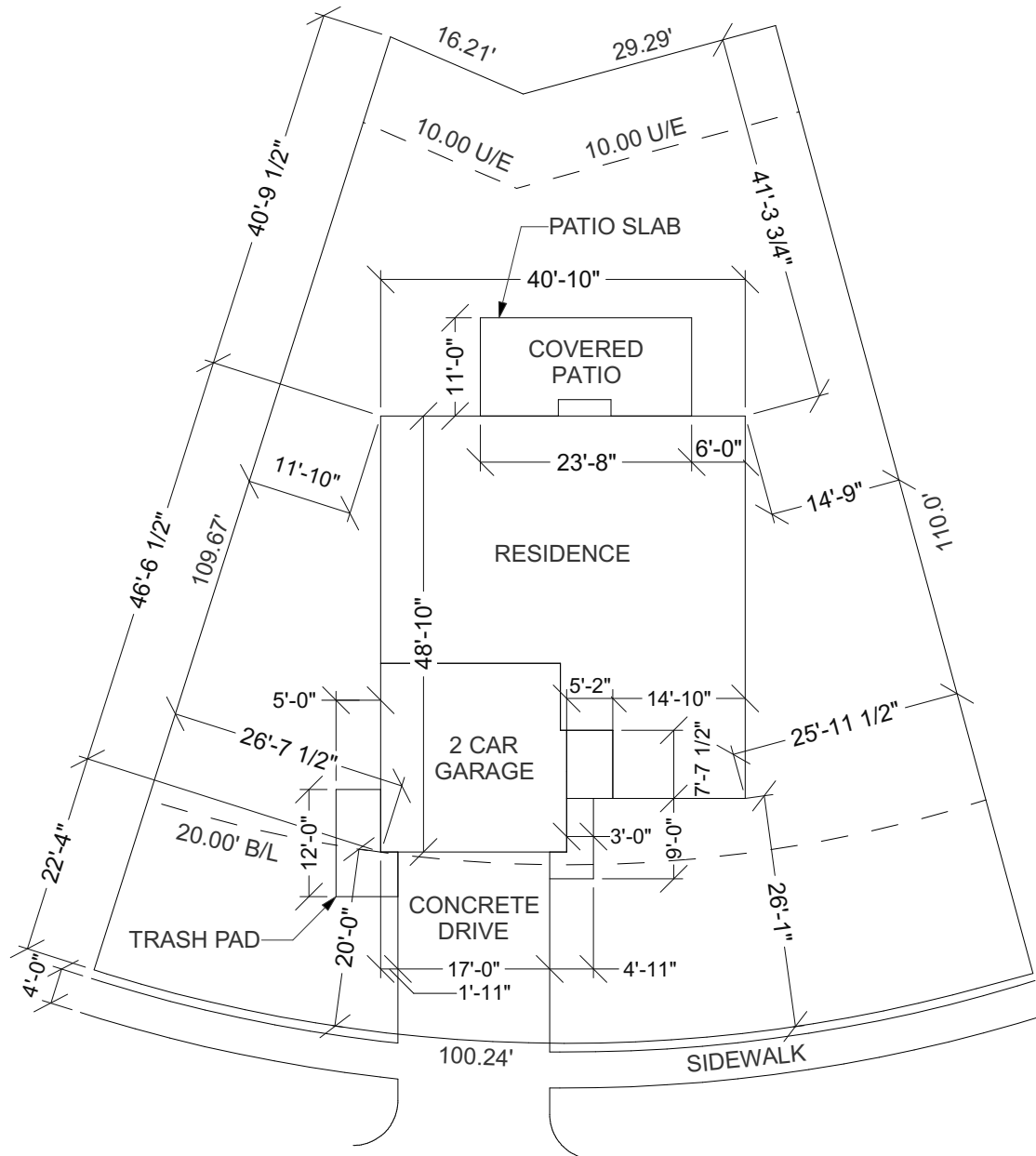
Community/ L&B  
Rockwell Park Sec. 2  
Lot #9, Block #11

NO.	DESCRIPTION	BY	DATE



Two Structures Homes, LLC  
2414 NW 178th St  
Edmond, Oklahoma 73012  
(405) 509-9435  
www.twostructureshomes.com

PROJECT NO.	DRAWN BY:	APPRVD BY:	CLIENT:
TSH	JM		Sierra



SITE PLAN

1" = 20'-0"



INDEX OF DRAWINGS



TWO STRUCTURES HOMES

INDEX			
LABEL	TITLE	DESCRIPTION	COMMENTS
	COVER SHEET		
A1.01	FLOOR PLAN - 1ST FLOOR		
A1.02	FLOOR PLAN - 2ND FLOOR		
A1.03	ROOF PLAN		
A2.01	FRONT & RIGHT ELEVATION		
A2.02	REAR & LEFT ELEVATION		
E1.01	ELECTRICAL PLAN		
TYP.	TYPICAL DETAILS		










3. THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
2. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL BUILDING CODES AND ORDINANCES, MANUFACTURING'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES.
3. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY, OR LOSS AT THE JOB SITE TO ALL PERSONS EMPLOYED TO DO WORK, PERSONS VISITING THE SITE AND THE GENERAL PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO MATERIALS OR EQUIPMENT AN OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
4. NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR CONSENT OF TWO STRUCTURES HOMES LLC.
5. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. TWO STRUCTURES SHALL BE CONSULTED FOR CLARIFICATION IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
6. CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES, HE SHALL NOTIFY TWO STRUCTURES HOMES LLC.
7. PLUMBING AND A/C SHALL CONFORM TO THE STATE OF OKLAHOMA ENERGY CODE.
8. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE.
9. PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
10. NO PIPES CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.

**BUILDING PERFORMANCE:**

## **ABBREVIATIONS**

AFF	ABOVE FINISHED FLOOR	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	OD	OUTER DIAMETER
A/V	AUDIO VISUAL	O/O	OUT TO OUT
BO	BOTTOM OF	PSI	POUNDS PER SQUARE INCH
CL	CENTERLINE	PT	PRESSURE TREATED
CLG	CEILING	RCP	REFLECTED CEILING PLAN
CMU	CONCRETE MASONRY UNIT	RE	REFERENCE
CO	CLEAN OUT	REF	REFRIGERATOR
CONC.	CONCRETE	REQ'D	REQUIRED
	DRYER	RO	ROOF OPENING
DIA	DIAMETER	SH	SINGLE HUNG
DTLS	DETAILS	STL	STEEL
DW	DISHWASHER	THK	THICK
E	ELECTRICAL METER	TO	TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOW	TOP OF WALL
FX	FIXED	TYP	TYPICAL
GA	GAUGE	U.N.O	UNLESS NOTED OTHERWISE
GAL	GALLON	VTR	VENT TO ROOF
GYP BD	GYPSON BOARD	W	WASHER
HB	HOSE BIB	WC	WATER CLOSET
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	WD	WOOD
ID	INNER DIAMETER	W/D	WASHER/DRYER
NIC	NOT IN CONTRACT	WH	WATER HEATER
NTS	NOT TO SCALE		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MIN	MINIMUM		
MU	MULLED UNIT		

WALL SCHEDULE	
2D SYMBOL	WALL TYPE(S)
	BRICK-4
	BRICK-6
	BRICK-4/STONE-4
	BRICK-6/STONE-6
	SIDING-6
	INTERIOR-4
	INTERIOR-6

EXTERIOR/INSULATED WALLS = 2x6 #2's @ 24" O.C.  
EXTERIOR GARAGE WALLS = 2x4 #2's @ 16" O.C.  
INTERIOR LOAD-BEARING WALLS = 2X4 #2's @ 16" O.C.  
INTERIOR NON LOAD-BEARING WALLS = 2x4 #2's @ 24" O.C  
UTILITY WALL @ W&D = 2x6 #2's @ 24" O.C.

DOOR SCHEDULE									
NUMBER	LABEL	QTY	WIDTH	HEIGHT	THICKNESS	SWING SIDE	HINGE SIDE	DESCRIPTION	COMMENTS
D01	16070	1	192 "	84 "	1 3/4"	IN		GARAGE-SLAB	
D02	3068	1	36 "	80 "	1 3/4"	IN	R	EXT. HINGED-DOOR	
D03	5068	1	60 "	80 "	1 3/8"	OUT	L/R	EXT. DOUBLE HINGED-DOOR	
D04	2868	1	32 "	80 "	1 3/8"	IN	R	EXT. HINGED-DOOR	
D05	6080	1	72 "	96 "	1 3/4"	IN	L	EXT. SLIDER-GLASS PANEL	
D06	6080	1	72 "	96 "	1 3/4"	IN	R	EXT. SLIDER-GLASS PANEL	
D07	2468	3	28 "	80 "	1 3/8"	OUT	R	HINGED-PANEL	
D08	2468	2	28 "	80 "	1 3/8"	OUT	L	HINGED-PANEL	
D09	2468	1	28 "	80 "	1 3/8"	IN	R	HINGED-PANEL	
D10	2868	1	32 "	80 "	1 3/8"	IN	L	HINGED-PANEL	
D11	2868	3	32 "	80 "	1 3/8"	IN	R	HINGED-PANEL	
D12	2468	3	28 "	80 "	1 3/8"	IN	L	HINGED-PANEL	
D14	2068	1	24 "	80 "	1 3/8"	OUT	L	HINGED-PANEL	
D15	4068	2	48 "	80 "	1 3/8"	OUT	L/R	DOUBLE HINGED-PANEL	

WINDOW SCHEDULE										
NUMBER	LABEL	QTY	WIDTH	HEIGHT	TOP	DESCRIPTION	FINISH	GLAZING TYPE	DIVIDED LITES	COMMENTS
W01	5030MUSH	1	60 "	36 "	80"	MULLED UNIT SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	2X1 / 1	
W02	6060MUFX	1	72 "	72 "	92"	MULLED UNIT FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E		
W03	2660FX	2	30 "	72 "	92"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	
W04	4020FX	1	48 "	24 "	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	TEMPERED/OBSCUR
W05	2030SH	1	24 "	36 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	TEMPERED
W06	3050SH	2	36 "	60 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	
W07	3050SH	1	36 "	60 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	2X1 / 1	



SOME SELECTIONS MAY BE DEEMED AN UPGRADE. IN THE EVENT, THERE WILL BE AN UPGRADE FEE WHICH CAN BE DISCUSSED AT YOUR PRE-CONSTRUCTION MEETING. AFTER PRECON, ALL SELECTIONS WILL BE CONSIDERED FINAL.

01 FLOOR PLAN - 1ST FLOOR  
A1.01 1/4" = 1'-0"

VENEER (LIVING) FOOTAGE - 2,088 SF  
LOWER FRAME FOOTAGE - 1,342 SF  
UPPER FRAME FOOTAGE - 660 SF  
FRONT PORCH FOOTAGE - 28 SF  
BACK PATIO FOOTAGE - 210 SF  
GARAGE AREA - 411 SF  
UNDER ROOF FRAME FOOTAGE - 2,765 SF  
FOOTPRINT (FOUNDATION) FOOTAGE - 1,846 SF



## TWO STRUCTURES HOMES

2414 NW 178th St Edmond, OK 73012 -- (405) 509-9435 -- [www.twostructureshomes.com](http://www.twostructureshomes.com)

Copyright © Two Structures Homes LLC. All rights reserved. All drawings and written material herein, constitute original work and property of Two Structures Homes LLC and may only be reproduced, distributed, or otherwise used without the written consent of Two Structures Homes LLC.

**THE CYPRESS (C)**  
7316 NW 159th Terrace  
Oklahoma City, OK 73013

FLOOR PLAN - 1ST FLOOR

SHEET: 2 OF 8

# A1.01



GENERAL NOTES:

1. THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
2. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL BUILDING CODES AND ORDINANCES, MANUFACTURING'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES.
3. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY, OR LOSS AT THE JOB SITE TO ALL PERSONS EMPLOYED TO DO WORK, PERSONS VISITING THE SITE AND THE GENERAL PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO MATERIALS OR EQUIPMENT AN OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
4. NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR CONSENT OF TWO STRUCTURES HOMES LLC.
5. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. TWO STRUCTURES SHALL BE CONSULTED FOR CLARIFICATION IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
6. CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES, HE SHALL NOTIFY TWO STRUCTURES HOMES LLC.
7. PLUMBING AND A/C SHALL CONFORM TO THE STATE OF OKLAHOMA ENERGY CODE.
8. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE.
9. PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
10. NO PIPES CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	OD	OUTER DIAMETER
AV	AUDIO VISUAL	O/O	OUT TO OUT
BO	BOTTOM OF	PSI	POUNDS PER SQUARE INCH
CL	CENTERLINE	PT	PRESSURE TREATED
CLG	CEILING	RCP	REFLECTED CEILING PLAN
CMU	CONCRETE MASONRY UNIT	RE	REFERENCE
CO	CLEAN OUT	REF	REFRIGERATOR
CONC.	CONCRETE	REQ'D	REQUIRED
D	DRYER	RO	ROOF OPENING
DIA	DIAMETER	SH	SINGLE HUNG
DTLS	DETAILS	STL	STEEL
DW	DISHWASHER	THK	THICK
E	ELECTRICAL METER	TO	TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOW	TOP OF WALL
FX	FIXED	TYP	TYPICAL
GA	GAUGE	U.N.O	UNLESS NOTED OTHERWISE
GAL	GALLON	VTR	VENT TO ROOF
GYP BD	GYPSUM BOARD	W	WASHER
HB	HOSE BIB	WC	WATER CLOSET
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	WD	WOOD
ID	INNER DIAMETER	WID	WASHER/DRYER
NIC	NOT IN CONTRACT	WH	WATER HEATER
NTS	NOT TO SCALE		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MIN	MINIMUM		
MU	MULLED UNIT		

WALL SCHEDULE	
2D SYMBOL	WALL TYPE(S)
	BRICK-4
	BRICK-6
	BRICK-4/STONE-4
	BRICK-6/STONE-6
	SIDING-6
	INTERIOR-4
	INTERIOR-6

WALL FRAMING NOTES

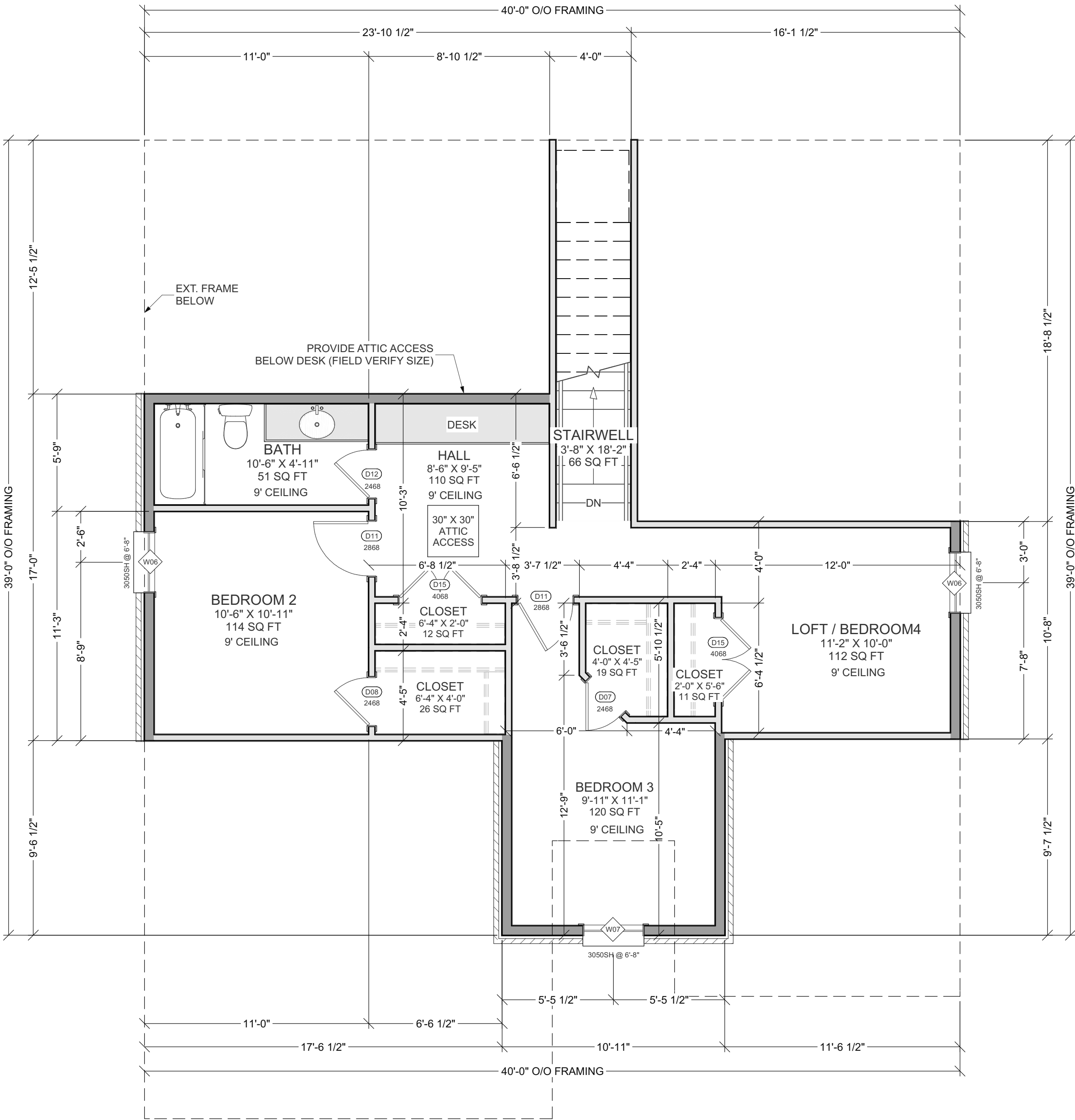
EXTERIOR/INSULATED WALLS = 2x6 #2's @ 24" O.C.  
EXTERIOR GARAGE WALLS = 2x4 #2's @ 16" O.C.  
INTERIOR LOAD-BEARING WALLS = 2X4 #2's @ 16" O.C.  
INTERIOR NON LOAD-BEARING WALLS = 2x4 #2's @ 24" O.C.  
UTILITY WALL @ W&D = 2x6 #2's @ 24" O.C.

DOOR SCHEDULE

NUMBER	LABEL	QTY	WIDTH	HEIGHT	THICKNESS	SWING SIDE	HINGE SIDE	DESCRIPTION	COMMENTS
D01	16070	1	192 "	84 "	1 3/4"	IN		GARAGE-SLAB	
D02	3068	1	36 "	80 "	1 3/4"	IN	R	EXT. HINGED-DOOR	
D03	5068	1	60 "	80 "	1 3/8"	OUT	L/R	EXT. DOUBLE HINGED-DOOR	
D04	2868	1	32 "	80 "	1 3/8"	IN	R	EXT. HINGED-DOOR	
D05	6080	1	72 "	96 "	1 3/4"	IN	L	EXT. SLIDER-GLASS PANEL	
D06	6080	1	72 "	96 "	1 3/4"	IN	R	EXT. SLIDER-GLASS PANEL	
D07	2468	3	28 "	80 "	1 3/8"	OUT	R	HINGED-PANEL	
D08	2468	2	28 "	80 "	1 3/8"	OUT	L	HINGED-PANEL	
D09	2468	1	28 "	80 "	1 3/8"	IN	R	HINGED-PANEL	
D10	2868	1	32 "	80 "	1 3/8"	IN	L	HINGED-PANEL	
D11	2868	3	32 "	80 "	1 3/8"	IN	R	HINGED-PANEL	
D12	2468	3	28 "	80 "	1 3/8"	IN	L	HINGED-PANEL	
D14	2068	1	24 "	80 "	1 3/8"	OUT	L	HINGED-PANEL	
D15	4068	2	48 "	80 "	1 3/8"	OUT	L/R	DOUBLE HINGED-PANEL	

WINDOW SCHEDULE

NUMBER	LABEL	QTY	WIDTH	HEIGHT	TOP	DESCRIPTION	FINISH	GLAZING TYPE	DIVIDED LITES	COMMENTS
W01	5030MUSH	1	60 "	36 "	80"	MULLED UNIT SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	2X1 / 1	
W02	6060MUFX	1	72 "	72 "	92"	MULLED UNIT FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E		
W03	2660FX	2	30 "	72 "	92"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	
W04	4020FX	1	48 "	24 "	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	TEMPERED/OBSCR
W05	2030SH	1	24 "	36 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	TEMPERED
W06	3050SH	2	36 "	60 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	
W07	3050SH	1	36 "	60 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	12X1 / 1	



01 FLOOR PLAN - 2ND FLOOR  
A1.02 1/4" = 1'-0"

PLEASE NOTE:

SOME SELECTIONS MAY BE DEEMED AN UPGRADE. IN THE EVENT, THERE WILL BE AN UPGRADE FEE WHICH CAN BE DISCUSSED AT YOUR PRE-CONSTRUCTION MEETING. AFTER PRECON, ALL SELECTIONS WILL BE CONSIDERED FINAL.

NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2086 SF
LOWER FRAME FOOTAGE - 1342 SF
UPPER FRAME FOOTAGE - 680 SF
FRONT PORCH FOOTAGE - 28 SF
BACK PATIO FOOTAGE - 210 SF
GARAGE AREA - 411 SF
UNDER ROOF FRAME FOOTAGE - 2786 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1846 SF



**TWO STRUCTURES HOMES**

2414 NW 179th St Edmond, OK 73012 • (405) 699-9495 • [www.twosturctureshomes.com](http://www.twostructureshomes.com)

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

**THE CYPRESS (C)**

7316 NW 159th Terrace  
Oklahoma City, OK 73013

PROJECT NO. 1599-001

DRAWN BY: JAV

APPROVED BY: [Signature]

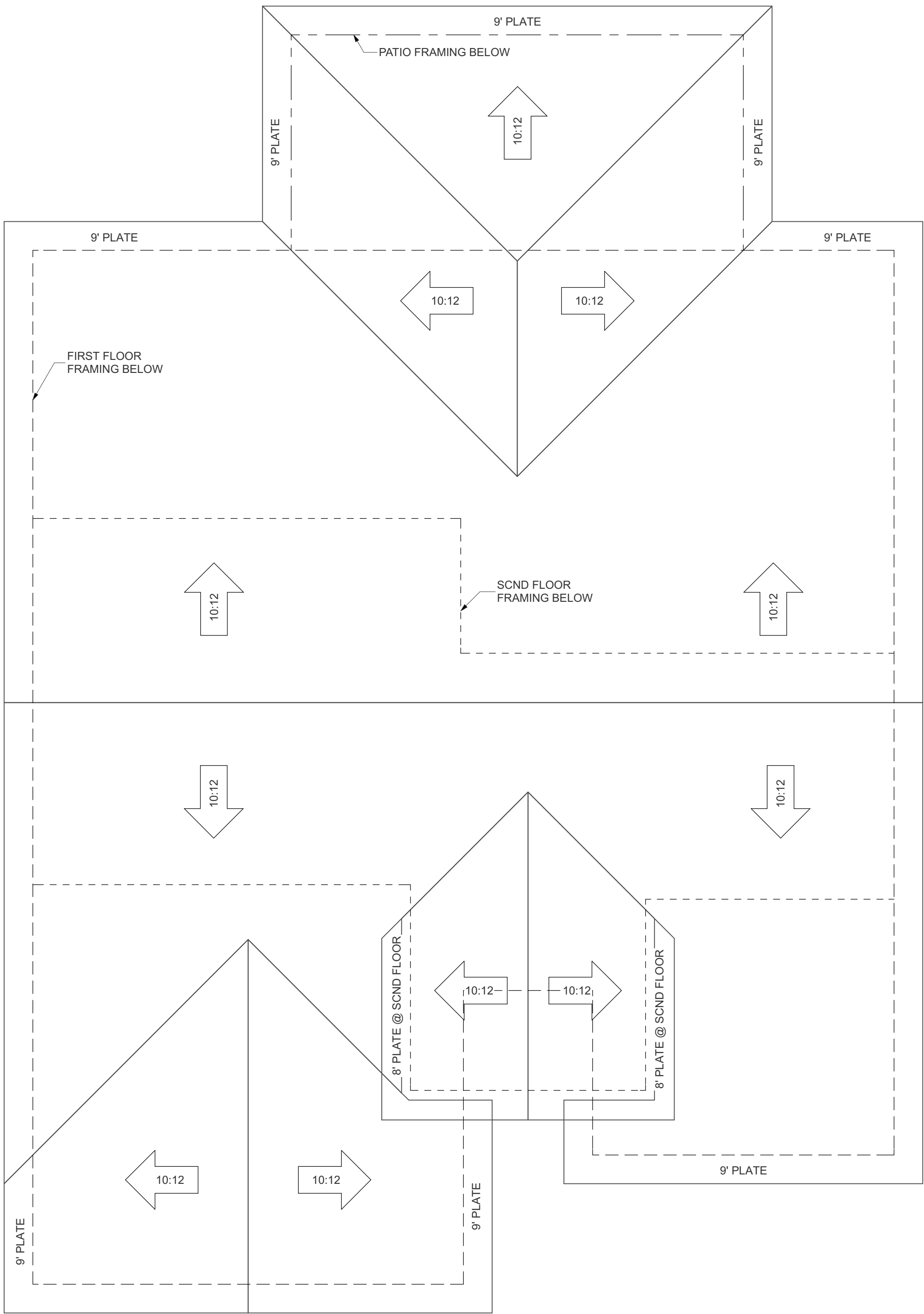
CLIENT: [Signature]

FLOOR PLAN - 2ND FLOOR

SHEET: 3 OF 8

A1.02





01  
A1.03 ROOF PLAN  
1/4" = 1'-0"

**THE CYPRESS (C)**  
7316 NW 159th Terrace  
Oklahoma City, OK 73013

PROJECT NO.  
1599435  
DRAWN BY:  
J. JAY  
APPROVED BY:  
[Signature]  
CLIENT:  
[Signature]



**TWO STRUCTURES HOMES**

2414 NW 178th St Edmond, OK 73012 -- (405) 569-9435 -- www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

VENEEER (LIVING) FOOTAGE - 2086 SF  
LOWER FRAME FOOTAGE - 1342 SF  
UPPER FRAME FOOTAGE - 660 SF  
FRONT PORCH FOOTAGE - 28 SF  
BACK PATIO FOOTAGE - 210 SF  
GARAGE AREA - 411 SF  
UNDER ROOF FRAME FOOTAGE - 2785 SF  
FOOTPRINT (FOUNDATION) FOOTAGE - 1846 SF

NO.	DESCRIPTION	BY	DATE

ROOF PLAN

SHEET: 4 OF 8

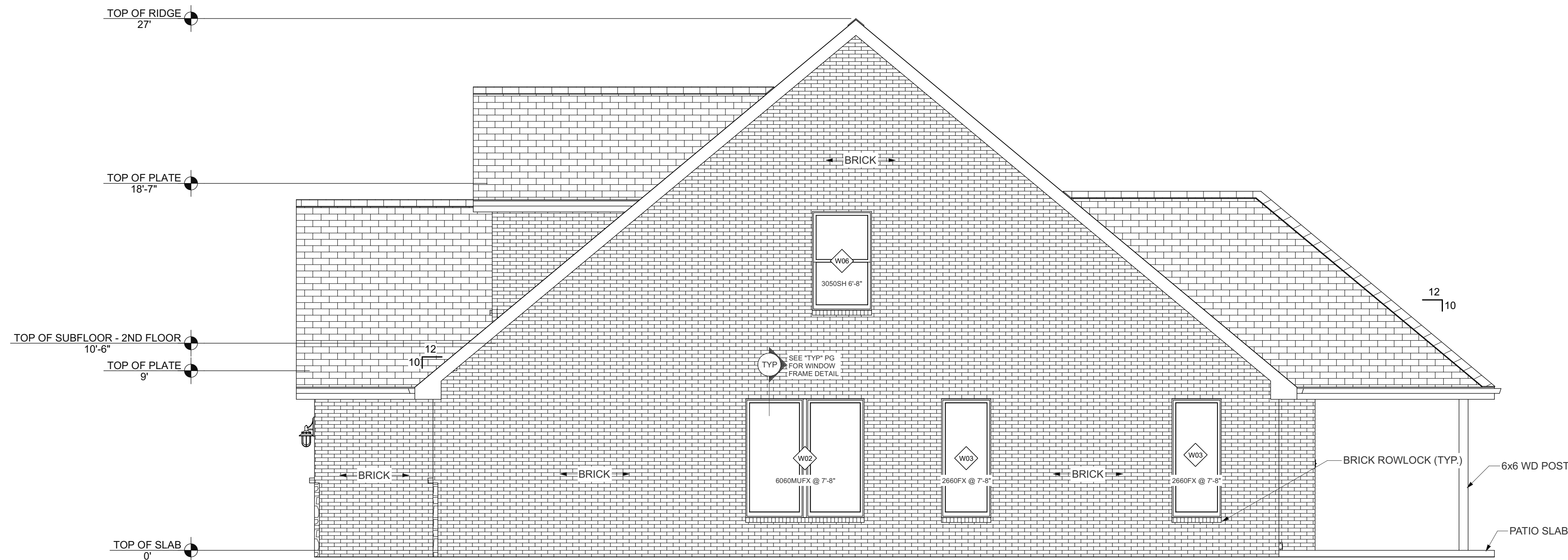
A1.03





E1  
A2.01

FRONT ELEVATION  
1/4" = 1'-0"




E2  
A2.01

RIGHT ELEVATION  
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENUEER (LIVING) FOOTAGE - 2086 SF
LOWER FRAME FOOTAGE - 1342 SF
UPPER FRAME FOOTAGE - 680 SF
FRONT PORCH FOOTAGE - 28 SF
BACK PATIO FOOTAGE - 210 SF
GARAGE AREA - 411 SF
UNDER ROOF FRAME FOOTAGE - 2785 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1846 SF



**TWO STRUCTURES HOMES**  
2414 NW 178th St Edmond, OK 73012 - (405) 569-9435 - www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

**THE CYPRESS (C)**  
7316 NW 159th Terrace  
Oklahoma City, OK 73013

PROJECT NO.  
1599435

DRAWN BY:  
JAV

APPROVED BY:  
[Signature]

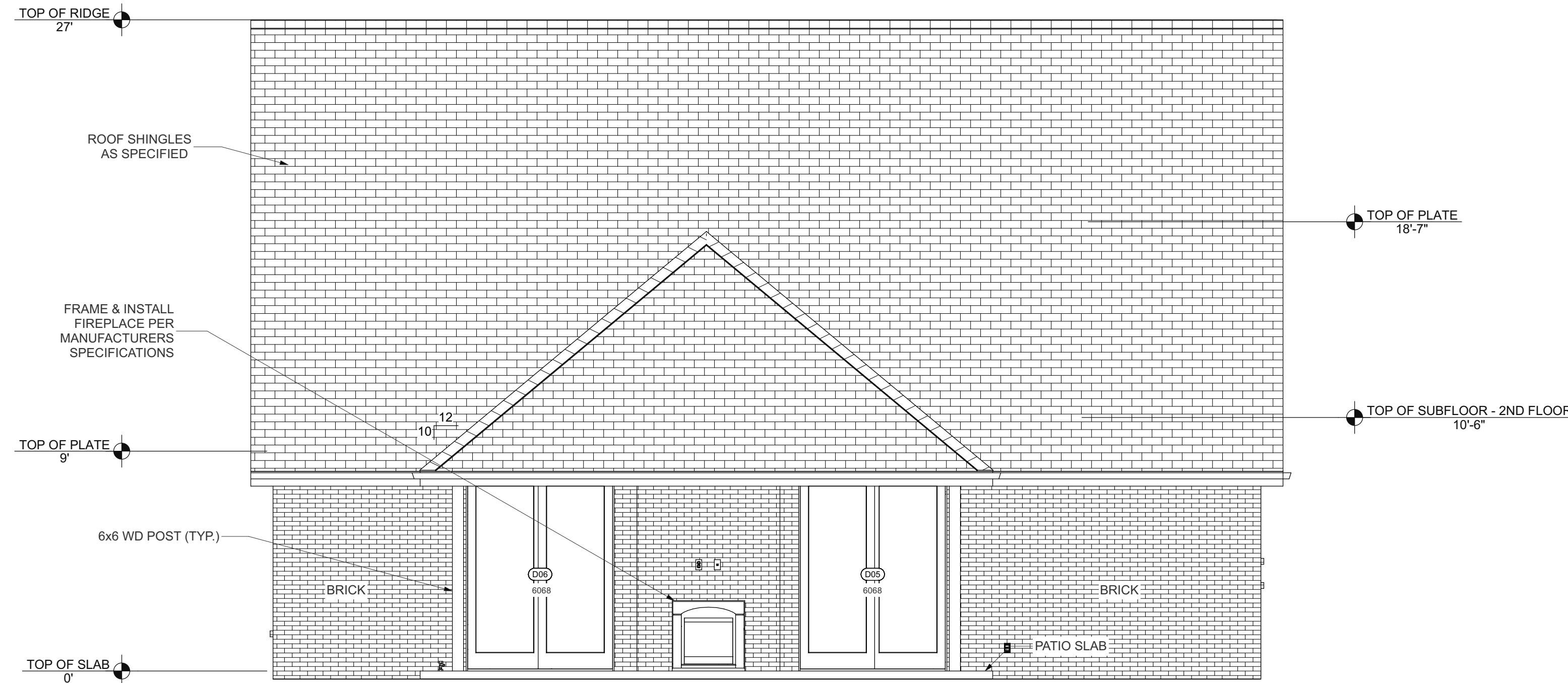
CLIENT:  
[Signature]

FRONT & RIGHT ELEVATION

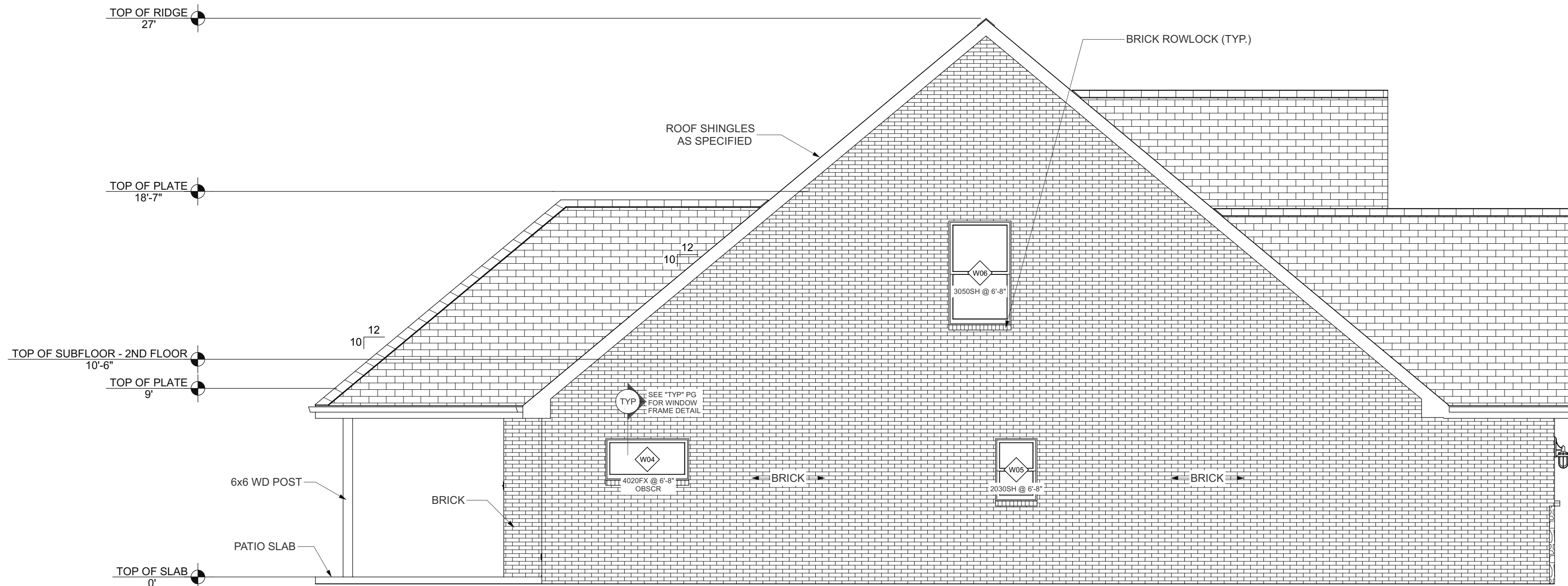
SHEET: 5 OF 8

A2.01






E3  
A2.02  
REAR ELEVATION  
1/4" = 1'-0"



E4  
A2.02  
LEFT ELEVATION  
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENUEER (LIVING) FOOTAGE - 2086 SF
LOWER FRAME FOOTAGE - 1342 SF
UPPER FRAME FOOTAGE - 680 SF
FRONT PORCH FOOTAGE - 28 SF
BACK PATIO FOOTAGE - 210 SF
GARAGE AREA - 411 SF
UNDER ROOF FRAME FOOTAGE - 2785 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1846 SF



**TWO STRUCTURES HOMES**  
2414 NW 178th St Edmond, OK 73012 - (405) 569-9435 - www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR REPRODUCED WITH WRITTEN CONSENT.

**THE CYPRESS (C)**  
7316 NW 159th Terrace  
Oklahoma City, OK 73013

PROJECT NO.  
159-000000

DRAWN BY:  
J. W.

APPROVED BY:  
J. W.

CLIENT:  
J. W.

REAR & LEFT ELEVATION

SHEET: 6 OF 8

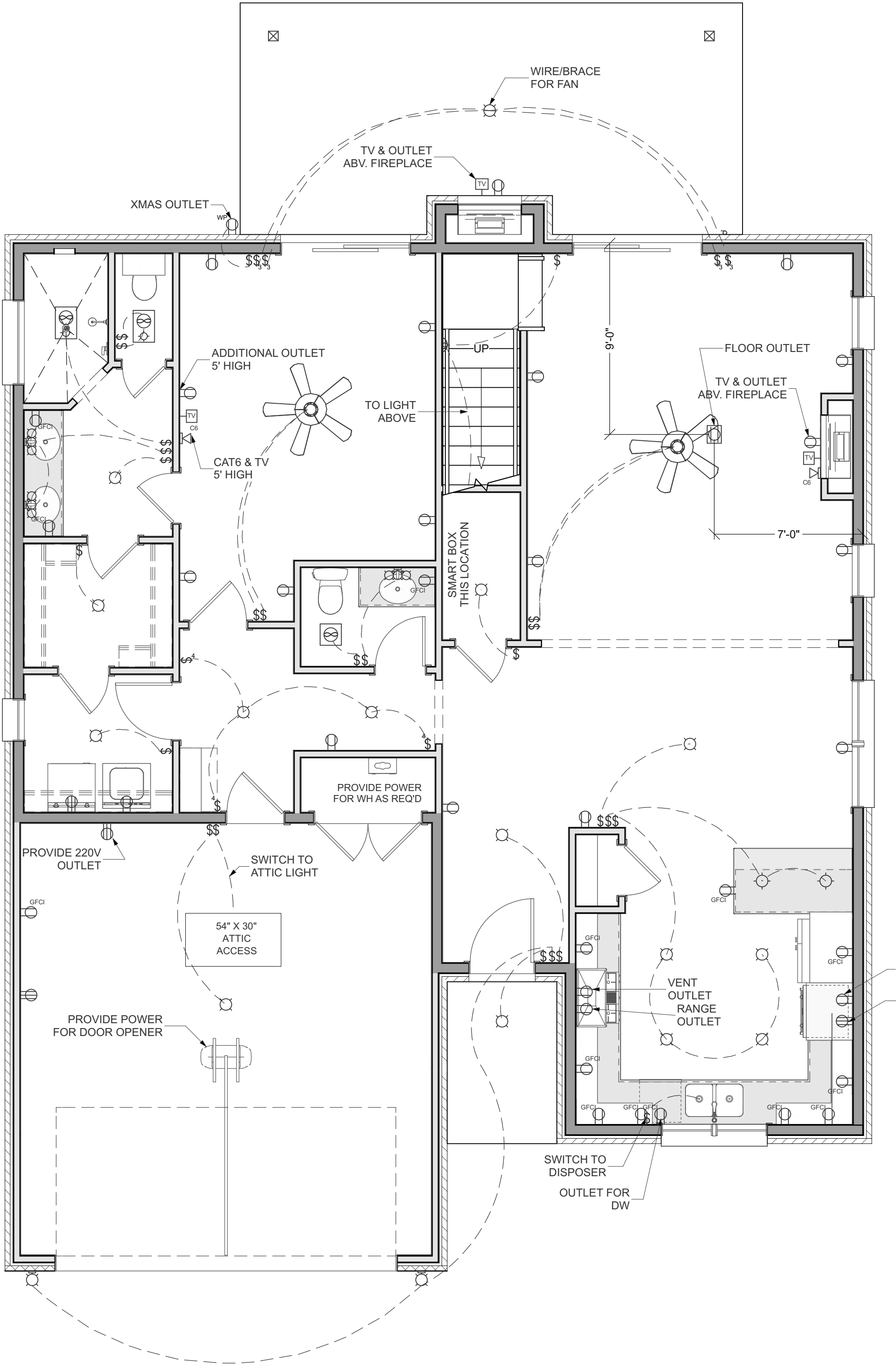
A2.02



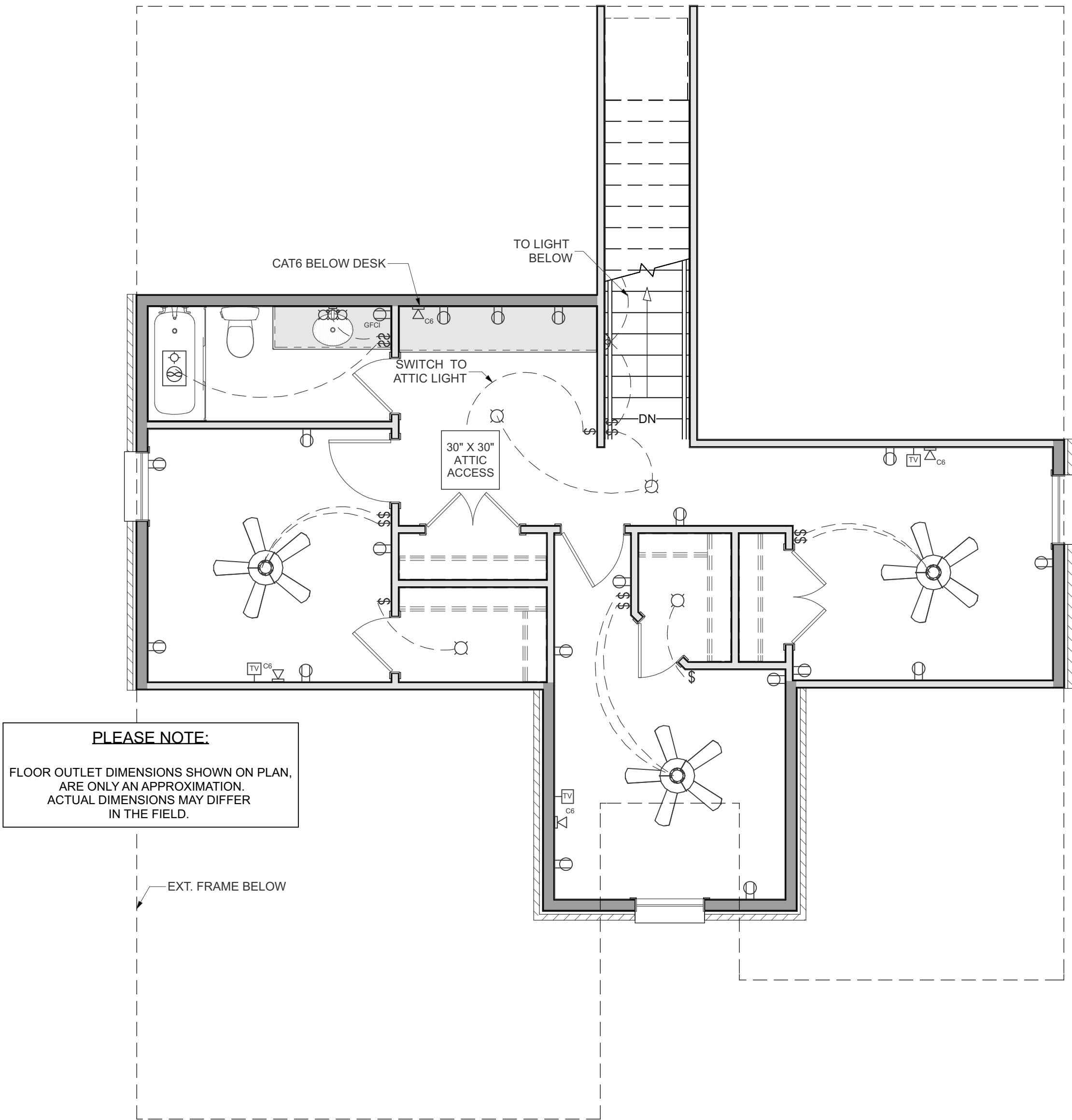
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE HAVING JURISDICTION AND THE NATIONAL ELECTRICAL CODE. ALL MATERIALS SHALL BEAR AN UNDERWRITERS LABORATORIES LABEL OR BE U.L. LISTED. WORKMANSHIP SHALL BE IN ACCORDANCE WITH GOOD TRADE PRACTICES. ALL EXCAVATING AND BACKFILLING REQUIRED FOR ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
2. CONNECTIONS TO EQUIPMENT: ELECTRICAL SUBCONTRACTORS SHALL VERIFY NAMEPLATE DATA OF A/C EQUIPMENT, WATER HEATERS AND OTHER EQUIPMENT TO OBTAIN CORRECT WIRE SIZES AND ELECTRICAL SUBCONTRACTOR SHALL MAKE THE ELECTRICAL CONNECTION TO ALL EQUIPMENT REQUIRING CURRENT. ALL CONTROL WIRING SHALL BE CARRIED OUT BY THE ELECTRICAL SUBCONTRACTOR AS DIRECTED BY MECHANICAL CONTRACTORS.
3. OVERHEAD ELECTRICAL CONDUCTOR CLEARANCES, HORIZONTAL AND VERTICAL SHALL BE MAINTAINED.
4. ALL WIRING CONDUCTORS SHALL BE INSULATED ELECTRICAL GRADE ANNEALED COPPER.
5. ALL WIRE TO BE INSIDE ELECTRICAL NON-METALLIC TUBING (AKA SMURF). ALL EXTERIOR AND ALL-WEATHER LOCATIONS TO HAVE GRAY RIGID PVC ELECTRICAL CONDUIT.
6. ALL #12 AND #10 WIRE TO BE SOLID. WIRES LARGER THAN #10 TO BE STRANDED IN ACCORDANCE WITH ASTM.
7. BATHROOM, GARAGE, AND EXTERIOR RECEPTACLES SHALL BE EQUIPPED WITH GROUND FAULT CIRCUIT INTERRUPTERS.
8. SMOKE DETECTORS SHALL BE HARD WIRED (110 VOLT) TO A NON-SWITCHABLE KITCHEN OR BATHROOM LIGHTING CIRCUIT AND SHALL NOT BE CONNECTED ON TO THE LOAD SIDE OF A GROUND FAULT INTERRUPTER.
9. FURNISH AND INSTALL UNDERGROUND RACEWAYS FOR POWER COMPANY SERVICE AND TELEPHONE COMPANY SERVICE AS PER UTILITY COMPANY SPECIFICATIONS AND COORDINATE THE EXACT ROUTING OF THESE RACEWAYS WITH THE UTILITY COMPANY.
10. VERIFY EXACT LOCATION OF ELECTRICAL OUTLETS AND LIGHTS PRIOR TO EXECUTION OF ROUGH-IN WORK.
11. ALL RACEWAYS AND NON-CURRENT CARRYING METAL ENCLOSURES SHALL BE MECHANICALLY AND ELECTRICALLY GROUNDED.
12. ALL RACEWAYS IN FINISHED AREAS SHALL BE CONCEALED AND ALL OUTLETS IN FINISHED AREAS SHALL BE MOUNTED FLUSH WITH FINISHED WALLS
13. ALL WORK SHALL BE RIGIDLY MOUNTED AND SUPPORTED.
14. ELECTRICAL OUTLETS, RECEPTACLES AND LIGHTING BELOW BASE FLOOD ELEVATION SHALL BE INSTALLED AT HIGHEST PERMITTED ELEVATION AND SHALL BE INSTALLED ON A SEPARATE INDEPENDENT CIRCUIT FROM THOSE IN HABITABLE AREAS.
15. ALL WATER HEATERS SHALL BE MECHANICALLY GROUNDED.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ventilation Fan(Light): Ceiling Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Quadplex, GFCI
	110V Receptacles: Duplex, Weather Proof, GFCI
	110V Receptacles: Duplex, Floor Mounted
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, CAT6, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	Recessed Vapor Light



01  
E1.01 ELECTRICAL PLAN - 1ST FLOOR  
1/4" = 1'-0"




PLEASE NOTE:  
FLOOR OUTLET DIMENSIONS SHOWN ON PLAN,  
ARE ONLY AN APPROXIMATION.  
ACTUAL DIMENSIONS MAY DIFFER  
IN THE FIELD.

01  
E1.01 ELECTRICAL PLAN - 2ND FLOOR  
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2086 SF
LOWER FRAME FOOTAGE - 1342 SF
UPPER FRAME FOOTAGE - 680 SF
FRONT PORCH FOOTAGE - 28 SF
BACK PATIO FOOTAGE - 210 SF
GARAGE AREA - 411 SF
UNDER ROOF FRAME FOOTAGE - 2785 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1846 SF



**TWO STRUCTURES HOMES**  
2414 NW 179th St Edmond, OK 73012 - (405) 699-9435 - www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

**THE CYPRESS (C)**  
7316 NW 159th Terrace  
Oklahoma City, OK 73013

PROJECT NO.  
159-0002

DRAWN BY:  
JW

APPROVED BY:  
[Signature]

CLIENT  
[Signature]



<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>
MONOLITHIC FOUNDATION & SLAB (TYP)	MONOLITHIC FOUNDATION @ PATIO (TYP)	MONO. FOUNDATION @ THICK. SLAB (TYP)	MONOLITHIC FOUNDATION @ OHDR (TYP)	PORTAL FRAME OPENING
<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>NOT TO SCALE</p>	<p>1. ROOF SHEATHING TO BE NAILED WITH 8d RING SHANK OR 10d NAILS AT 4" OC ALONG EDGES AND 6" OC IN FIELD. DIMENSIONAL LUMBER DECKING NOT ALLOWED.</p> <p>2. ROOF FRAMING SHALL BE 16" OC MAX. SHEATHING TO BE 7/16" MIN. MIN. WOOD STRUCTURAL PANEL SPAN RATINGS SHALL BE 24/16.</p> <p>3. CONNECTIONS FOR ROOF FRAMING SHALL BE DESIGNED FOR BOTH COMPRESSION &amp; TENSION, AND MAY INCLUDE NAIL PLATES OR STEEL CONNECTION PLATES.</p> <p>CONNECTIONS FOR ROOF FRAMING SHALL INCLUDE CONNECTIONS ON RAFTERS, WEB MEMBERS, PURLINS, KICKERS, BRACING CONNECTIONS, AND THE CONNECTIONS TO INTERIOR BRACE WALL, TOP PLATES AND CEILING JOISTS.</p> <p>4. GABLE END WALLS SHALL BE TIED TO THE STRUCTURE, AND MAY INCLUDE STEEL CONNECTION PLATES OR STRAPS. THE CONNECTIONS SHALL BE MADE AT THE TOP &amp; BOTTOM OF THE GABLE END WALL.</p> <p>5. STRUCTURAL SHEATHING PANELS ARE REQUIRED FOR GABLE END WALLS.</p> <p>6. HURRICANE CLIPS OR FRAMING ANCHORS REQ'D ON ALL RAFTER WALL CONNECTIONS. UPPER &amp; LOWER STORY WALL SHEATHING SHALL BE NAILED TO THE COMMON RIM BOARD.</p> <p>8. ALL WALLS SHALL BE CONTINUOUSLY SHEATHED WITH STRUCTURAL SHEATHING USING THE CS-WSP METHOD. GARAGE DOORS SHALL BE FRAMED USING THE SHEATHED PORTAL FRAME METHOD CS-WSP. NO FORM OF INTERMITTENT BRACING SHALL BE ALLOWED ON AN OUTER WALL.</p> <p>9. NAILING OF WALL SHEATHING SHALL BE INCREASED TO 8d RING SHANK OR 10d NAILS AT 4" OC ALONG THE EDGES AND 6" OC IN THE FIELD.</p> <p>10. STRUCTURAL WOOD SHEATHING SHALL BE EXTENDED TO LAP THE SILL PLATE &amp; NAILED TO THE SILL PLATE AT 4" OC ALONG THE EDGES. STRUCTURAL WOOD SHEATHING SHALL BE NAILED TO RIM BOARD IF PRESENT WITH 8d RING SHANK OR 10d NAILS AT 4" OC ALONG BOTH TOP &amp; BOTTOM EDGES OF RIM BOARD.</p> <p>11. GARAGE DOORS SHALL BE RATED TO 13.5 MPH WIND OR ABOVE.</p> <p>12. EXTERIOR WALL STUD SHALL BE NO GREATER THAN 16" OC IN SEPARATION.</p> <p>13. RAFTER TO INSTALL HURRICAN CLIPS.</p> <p>14. 2x4 WALLS TO BE EFFICIENTLY FRAMED USING "CALIFORNIA STYLE" CORNERS, LADDER BRACING &amp; PROPERLY SIZED HEADERS AT LOAD-BEARING WALLS.</p> <p>15. COVER 7/16 OSB IN COVERED PORCH AREAS WITH 2-LAYERS HOUSE WRAP.</p> <p>16. CHISE 5" BRCK POCKET.</p> <p>17. HOUSE WRAP TO BE ATTACHED USING CAP NAILS (NO STAPLES) &amp; TYVEK TAPE.</p> <p>18. ATTIC STAR TO BE 30"x54"</p> <p>19. UTILITY WALL &amp; "WET" WALL IN BATHS TO BE 2x6</p> <p>20. VERIFY HVAC LOCATION WITH BUILDER</p> <p>21. MAX 4 SHEETS OSB FOR ATTIC DECK</p> <p>22. ALL EXTERIOR HEADERS TO BE SINGLE-PLY LSL.</p> <p>23. HEADERS IN LOAD BEARING WALLS TO BE 2-2x12's. NO HDRS IN NON-BEARING WALLS</p> <p>25. PROVIDE 2x6 HEADERS IN 36" WIDE, 2x8 IN 48" WIDE &amp; 2x12 IN 60"+ WIDE WINDOWS.</p> <p><b>GENERAL NOTES</b></p> <p>*** NOTES 1-12 ARE FOR HOMES BEING BUILT IN MOORE, OK, ONLY ***</p>	
NOT TO SCALE	NOT TO SCALE	NOT TO SCALE	NOT TO SCALE	NOT TO SCALE
ROOF CORNICE (TYP)	WINDOW FRAMING DETAIL	T-WALL FRAMING AT EXTERIOR WALL		

CONTRACTOR/BUILDER TO ENSURE THAT ALL ASPECTS OF THIS BUILDING MEET LOCAL CODES. THE DESIGN OF ALL STRUCTURAL ELEMENTS (BEAMS, FOUNDATION, ETC.) ARE TO BE COMPLETED BY A STATE REGISTERED STRUCTURAL ENGINEER & SUBMITTED TO THE CONTRACTOR/BUILDER IN A SIGNED & SEALED SET OF DRAWINGS PRIOR TO CONSTRUCTION

THESE DETAILS ARE RECOMMENDED MINIMUMS ONLY AND ARE NOT INTENDED TO SUPERCEDE LOCAL CITY/NEIGHBORHOOD APPROVED/REQUIRED BUILDING STANDARDS. CONTRACTOR IS RESPONSIBLE FOR THE SELECTION AND IMPLEMENTATION OF THE PROPER BUILDING DETAILS/METHODS.

NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2086 SF
LOWER FRAME FOOTAGE - 1342 SF
UPPER FRAME FOOTAGE - 680 SF
FRONT PORCH FOOTAGE - 28 SF
BACK PATIO FOOTAGE - 210 SF
GARAGE AREA - 411 SF
UNDER ROOF FRAME FOOTAGE - 2785 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1846 SF

2414 NW 178th St Edmond, OK 73012 - (405) 669-9485 - [www.twostructureshomes.com](http://www.twostructureshomes.com)

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

**THE CYPRESS (C)**  
7316 NW 159th Terrace  
Oklahoma City, OK 73013

PROJECT NO. 159-0002  
DRAWN BY: JH  
APPROVED BY: [Signature]  
CLIENT: [Signature]