

# THE PONDEROSA BONUS (B)

Address  
504 NW 177th Terr  
Edmond, OK 73012

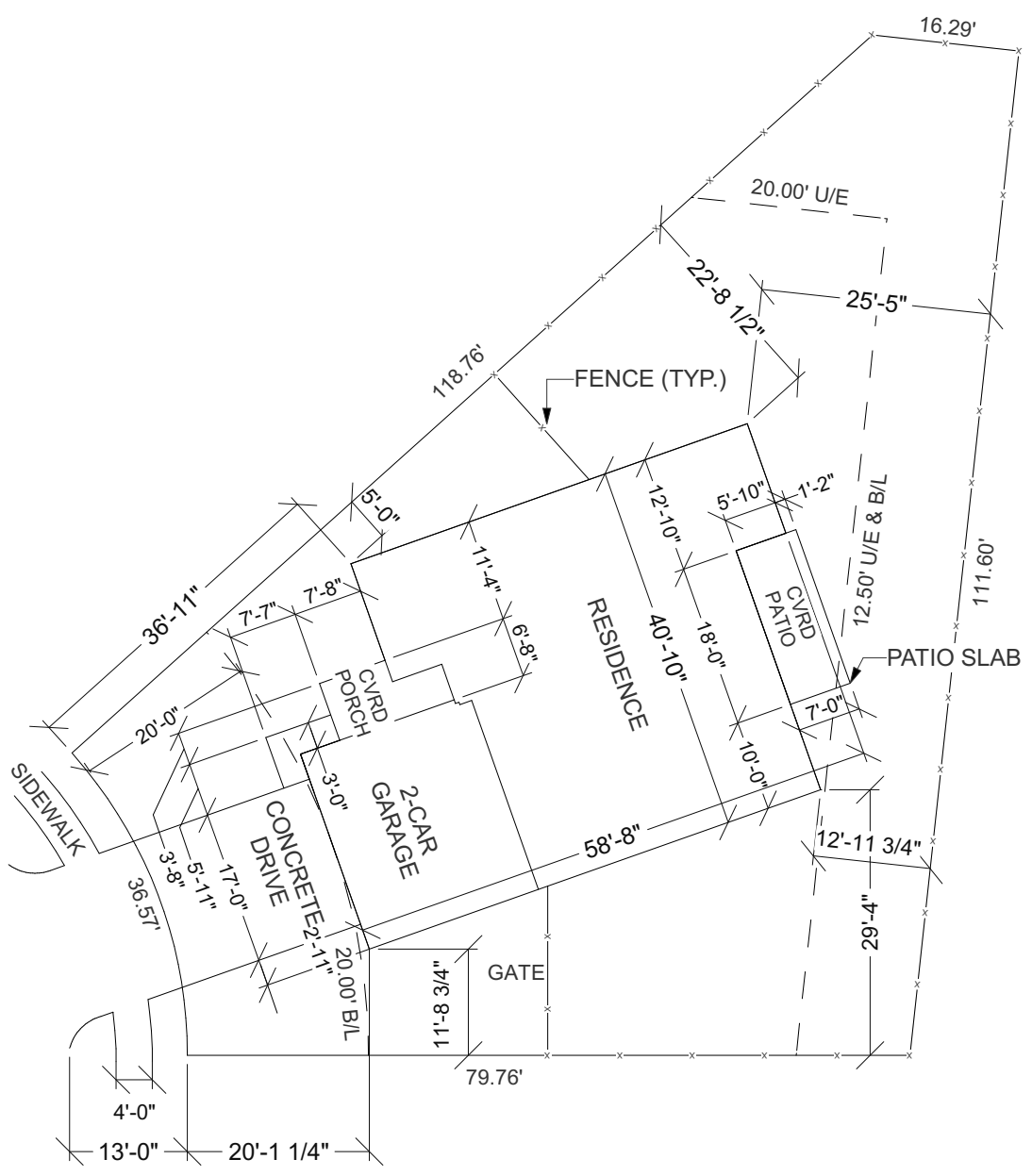
Community/ L&B  
Hampton Heights  
Lot #13, Block #1

NO.	DESCRIPTION	BY	DATE



Two Structures Homes, LLC  
2414 NW 178th St  
Edmond, Oklahoma 73012  
(405) 509-9435  
www.twostructureshomes.com

PROJECT NO.	DRAWN BY:	APPRVD BY:	CLIENT:
TSH	JM		Beadle



**SITE PLAN**  
1" = 20'-0"

# INDEX OF DRAWINGS



## TWO STRUCTURES HOMES

INDEX			
LABEL	TITLE	DESCRIPTION	COMMENTS
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A2.01	FRONT & RIGHT ELEVATION		
A2.02	REAR & LEFT ELEVATION		
E1.01	ELECTRICAL PLAN		
TYP.	TYPICAL DETAILS		

**GENERAL NOTES:**

- THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
- THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL BUILDING CODES AND ORDINANCES, MANUFACTURING'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES.
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- NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR CONSENT OF TWO STRUCTURES HOMES LLC.
- WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. TWO STRUCTURES SHALL BE CONSULTED FOR CLARIFICATION IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
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- PLUMBING AND A/C SHALL CONFORM TO THE STATE OF OKLAHOMA ENERGY CODE.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE.
- PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
- NO PIPES CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

**BUILDING PERFORMANCE:**

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

**ABBREVIATIONS**

AFF	ABOVE FINISHED FLOOR	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	OD	OUTER DIAMETER
AV	AUDIO VISUAL	O/O	OUT TO OUT
BO	BOTTOM OF	PSI	POUNDS PER SQUARE INCH
CL	CENTERLINE	PT	PRESSURE TREATED
CL.G	CEILING	RCP	REFLECTED CEILING PLAN
CMU	CONCRETE MASONRY UNIT	RE	REFERENCE
CO	CLEAN OUT	REF	REFRIGERATOR
CONC.	CONCRETE	REQ'D	REQUIRED
D	DRYER	RO	ROOF OPENING
DIA	DIAMETER	SH	SINGLE HUNG
DTLS	DETAILS	STL	STEEL
DW	DISHWASHER	THK	THICK
E	ELECTRICAL METER	TO	TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOW	TOP OF WALL
FX	FIXED	TPP	TYPICAL
GA	GAUGE	U/O	UNLESS NOTED OTHERWISE
GAL	GALLON	VTR	VENT TO ROOF
GYP BD	GYP SUM BOARD	W	WASHER
HB	HOSE BIB	WC	WATER CLOSET
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	WD	WOOD
ID	INNER DIAMETER	WID	WASHER/DRYER
NIC	NOT IN CONTRACT	WH	WATER HEATER
NTS	NOT TO SCALE		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MIN	MINIMUM		
MU	MULLED UNIT		

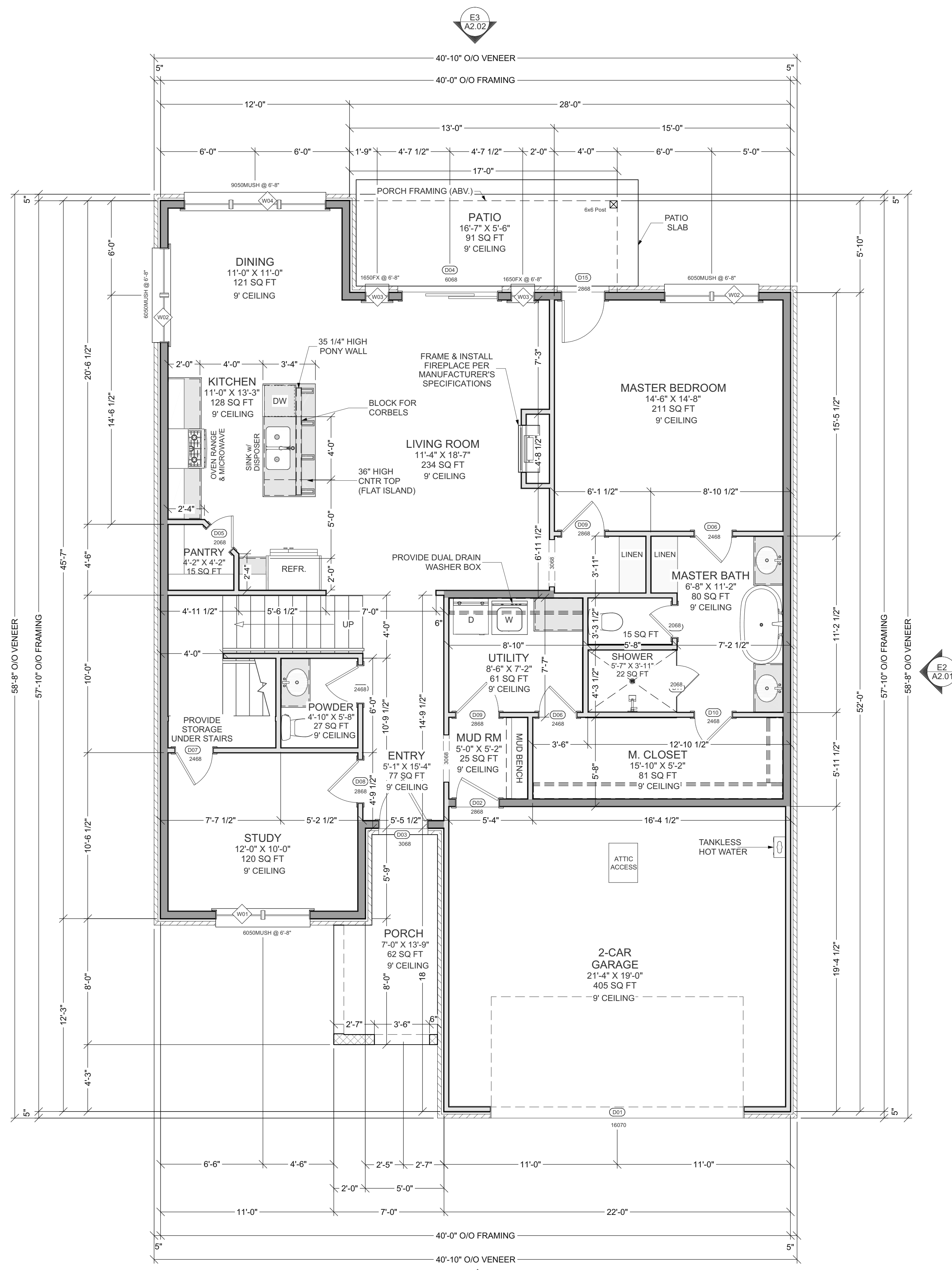
WALL SCHEDULE	
2D SYMBOL	WALL TYPE(S)
[Symbol]	BRICK-4
[Symbol]	BRICK-6
[Symbol]	INTERIOR-4
[Symbol]	INTERIOR-6
[Symbol]	GLASS SHOWER

**WALL FRAMING NOTES**

EXTERIOR/INSULATED WALLS = 2x6 #2's @ 24" O.C.  
 EXTERIOR GARAGE WALLS = 2x4 #2's @ 16" O.C.  
 INTERIOR LOAD-BEARING WALLS = 2x4 #2's @ 16" O.C.  
 INTERIOR NON LOAD-BEARING WALLS = 2x4 #2's @ 24" O.C.  
 UTILITY WALL @ W&D = 2x6 #2's @ 24" O.C.

DOOR SCHEDULE									
NUMBER	LABEL	QTY	WIDTH	HEIGHT	THICKNESS	SWING SIDE	HINGE SIDE	DESCRIPTION	COMMENTS
D01	16070	1	192"	84"	1 3/4"	IN		GARAGE-MODERN STEEL - FLUSH, WINDOW	
D02	2868	1	32"	80"	1 3/4"	IN	R	EXT. HINGED-DOOR	
D03	3068	1	36"	80"	1 3/4"	IN	R	EXT. HINGED-GLASS PANEL	
D04	6068	1	72"	80"	1 3/4"	OUT	R	EXT. SLIDER-GLASS PANEL	
D05	2068	1	24"	80"	1 3/8"	OUT	R	HINGED-PANEL	
D06	2468	5	28"	80"	1 3/8"	IN	R	HINGED-PANEL	
D07	2468	1	28"	80"	1 3/8"	OUT	R	HINGED-PANEL	
D08	2868	2	32"	80"	1 3/8"	IN	R	HINGED-PANEL	
D09	2868	4	32"	80"	1 3/8"	IN	L	HINGED-PANEL	
D10	2468	1	28"	80"	1 3/8"	IN	L	HINGED-PANEL	
D11	2068	1	24"	80"	1/2"	OUT	R	SHOWER-GLASS SLAB	
D12	2068	1	24"	80"	1 3/8"	IN	L	HINGED-PANEL	
D13	4068	2	48"	80"	1 3/8"	OUT	L/R	DOUBLE HINGED-PANEL	
D14	2468	1	28"	80"	1 3/8"	OUT	L	HINGED-PANEL	
D15	2868	1	32"	80"	1 3/4"	IN	R	EXT. HINGED-GLASS PANEL	

WINDOW SCHEDULE										
NUMBER	LABEL	QTY	WIDTH	HEIGHT	TOP	DESCRIPTION	FINISH	GLAZING TYPE	DIVIDED LITES	COMMENTS
W01	6050MUSH	1	72"	60"	80"	MULLED UNIT SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	4X4-P /4X4-P	
W02	6050MUSH	2	72"	60"	80"	SINGLE HUNG MULLED UNIT	COLOR - WHITE	DOUBLE PANE WITH LOW-E		
W03	1650FX	2	18"	60"	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	
W04	9050MUSH	1	108"	60"	80"	MULLED UNIT SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E		
W05	3044SC	1	36"	52"	80"	SINGLE CASEMENT-HR	COLOR - WHITE	DOUBLE PANE WITH LOW-E	4X4-P	
W06	1650FX	1	18"	60"	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	2X2-P	TEMPERED
W07	3050SH	1	36"	60"	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	4X4 / 4X4-P	
W08	6050MUSH	1	72"	60"	124"	MULLED UNIT SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E		HEADER HEIGHT MEASURED FROM STAIR LANDING
W09	3040SC	1	36"	48"	80"	SINGLE CASEMENT-HR	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	



**01 FLOOR PLAN - 1ST FLOOR**  
 1/4" = 1'-0"

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NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2370 SF
LOWER FRAME FOOTAGE - 1475 SF
UPPER FRAME FOOTAGE - 818 SF
FRONT PORCH FOOTAGE - 85 SF
BACK PATIO FOOTAGE - 76 SF
GARAGE AREA - 428 SF
UNDER ROOF FRAME FOOTAGE - 2880 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1988 SF

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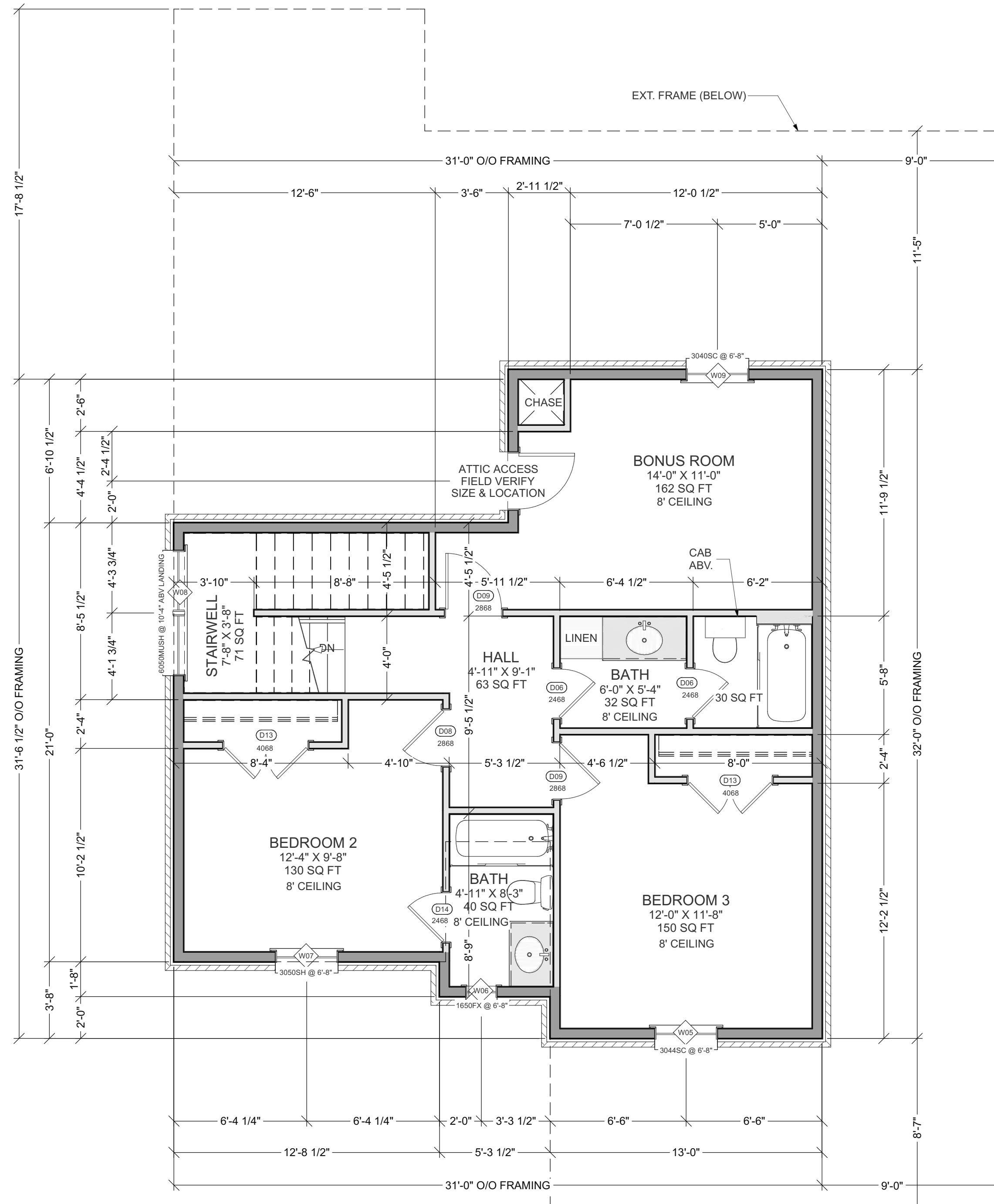
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**01** FLOOR PLAN - 2ND FLOOR  
 1/4" = 1'-0"

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BACK PATIO FOOTAGE - 76 SF
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UNDER ROOF FRAME FOOTAGE - 2880 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1985 SF

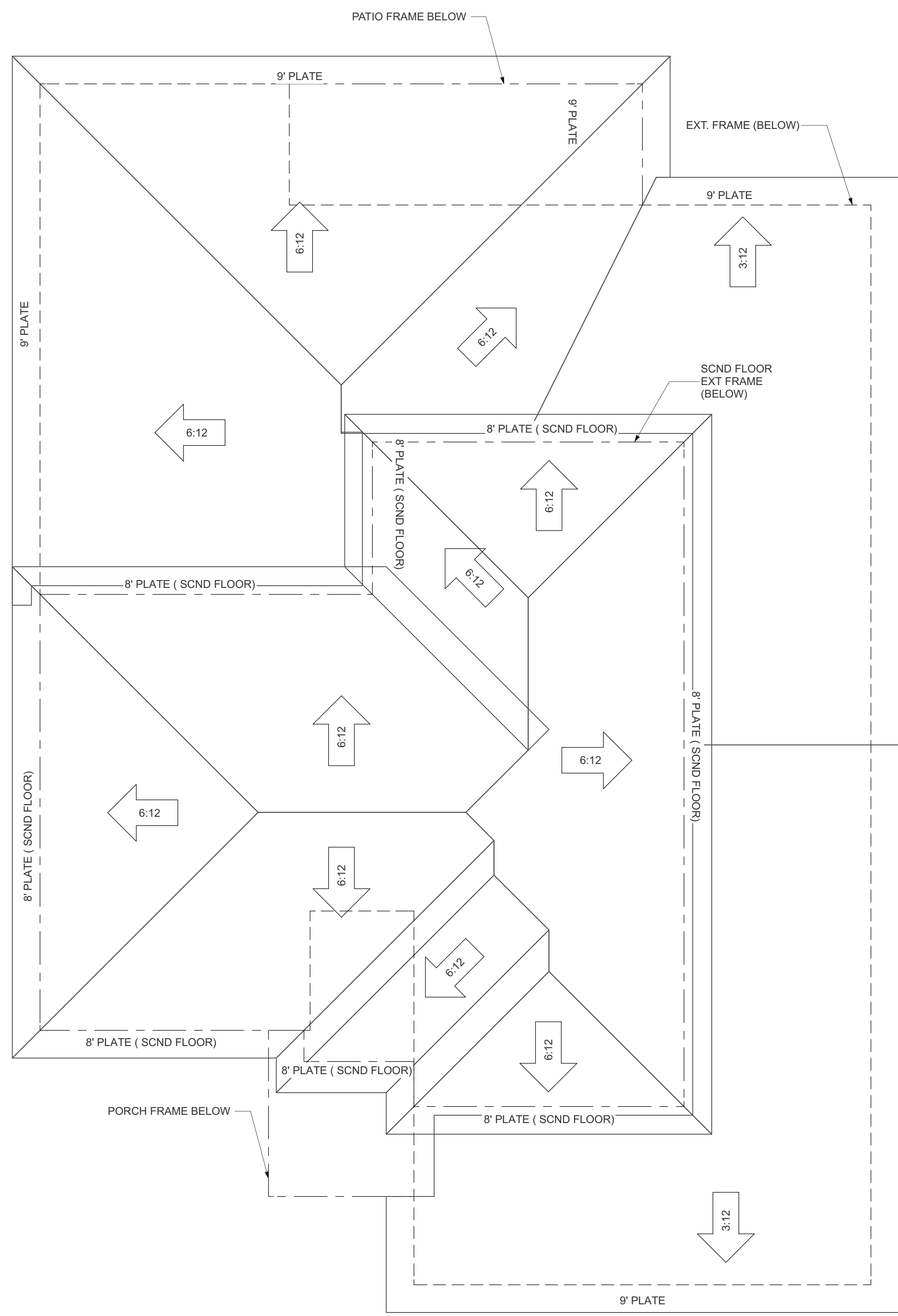
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**BONUS (B)**  
 504 NW 177th Terr  
 Edmond, OK 73012

FLOOR PLAN - 2ND FLOOR

SHEET: 3 OF 8

**A1.02**



01 ROOF PLAN  
A1.03 1/4" = 1'-0"

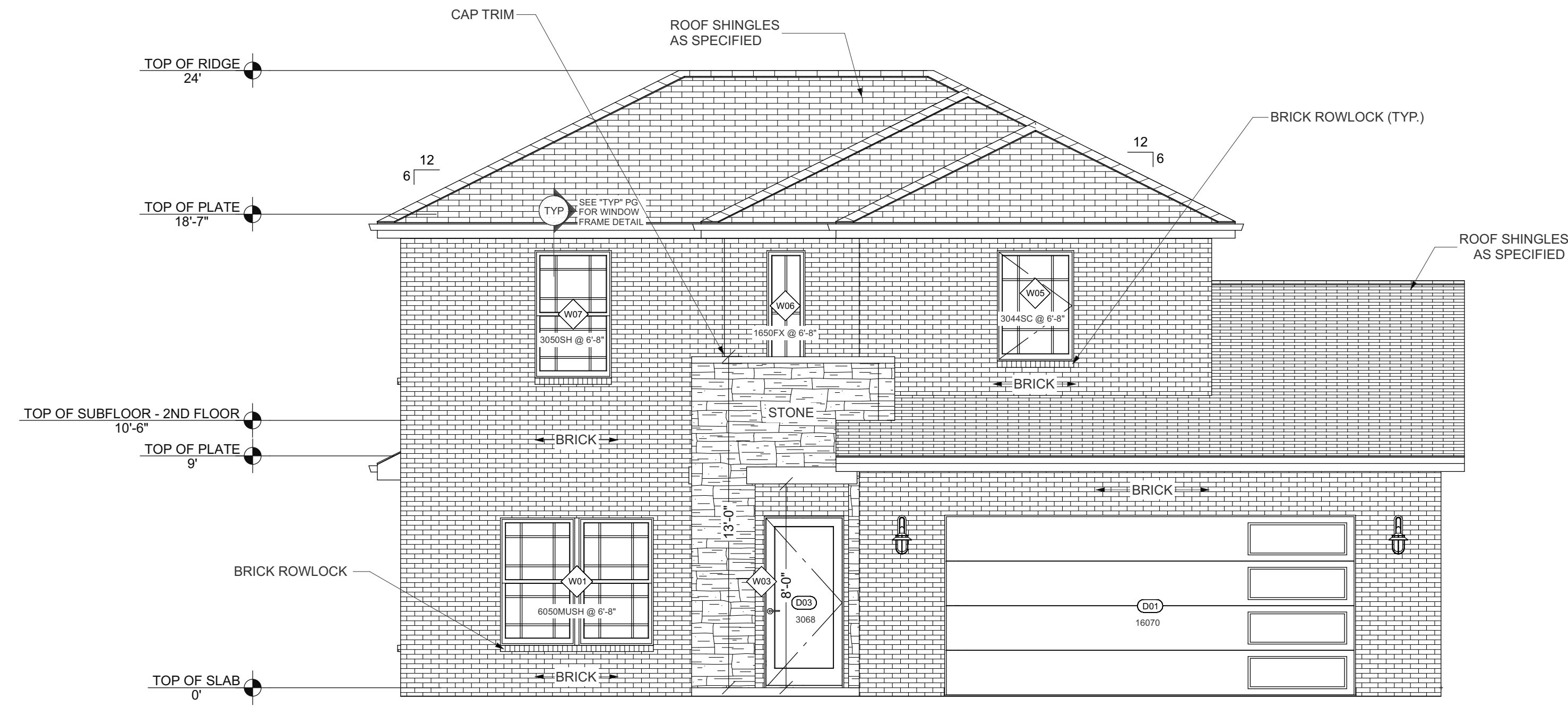
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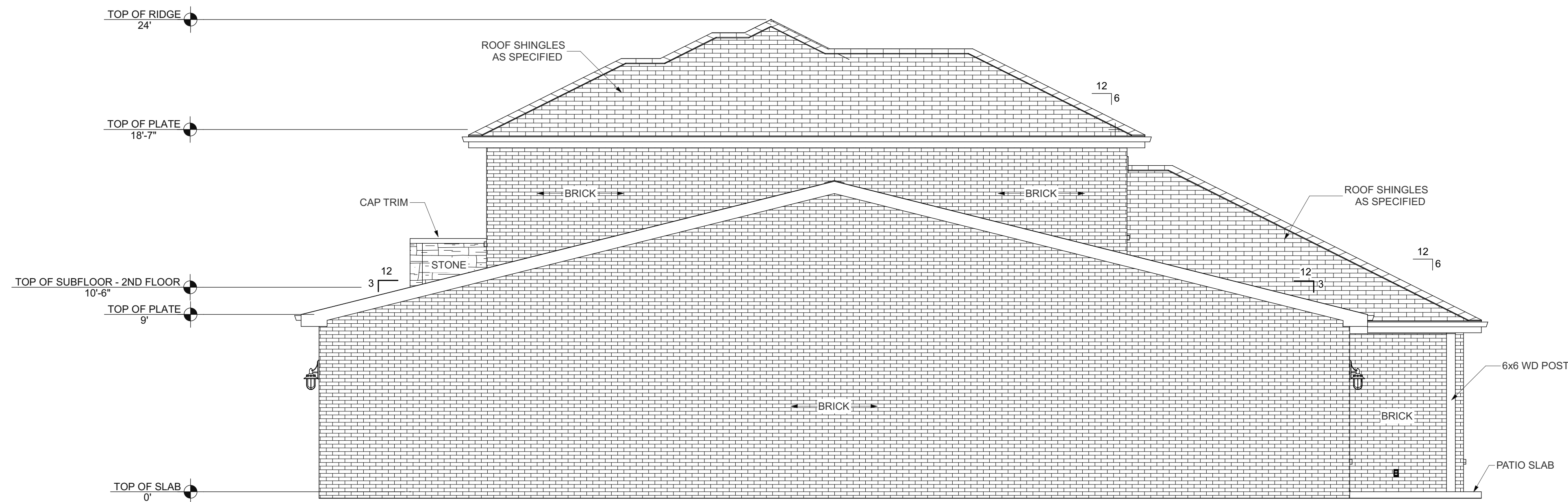
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PROJECT NO. | CLIENT | APPROVED BY: | DATE  
DRAWN BY: | CLIENT |



**E1** FRONT ELEVATION  
**A2.01** 1/4" = 1'-0"



**E2** RIGHT ELEVATION  
**A2.01** 1/4" = 1'-0"

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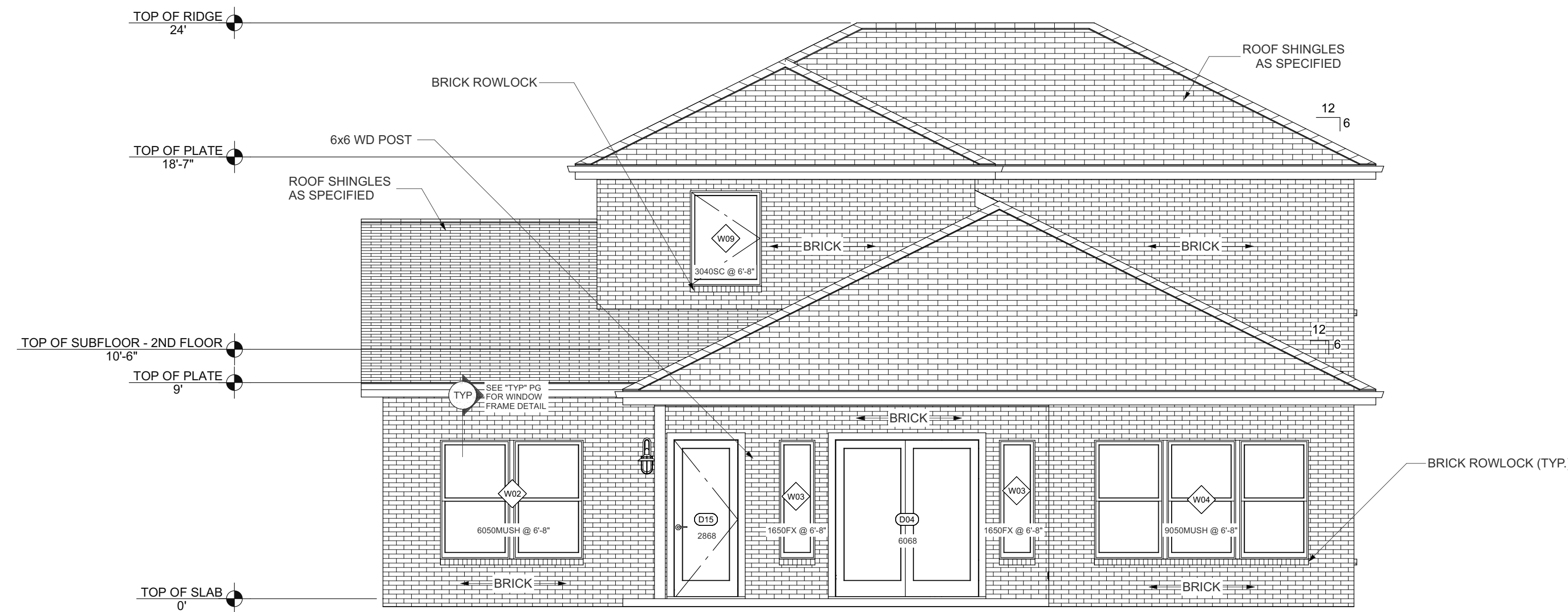
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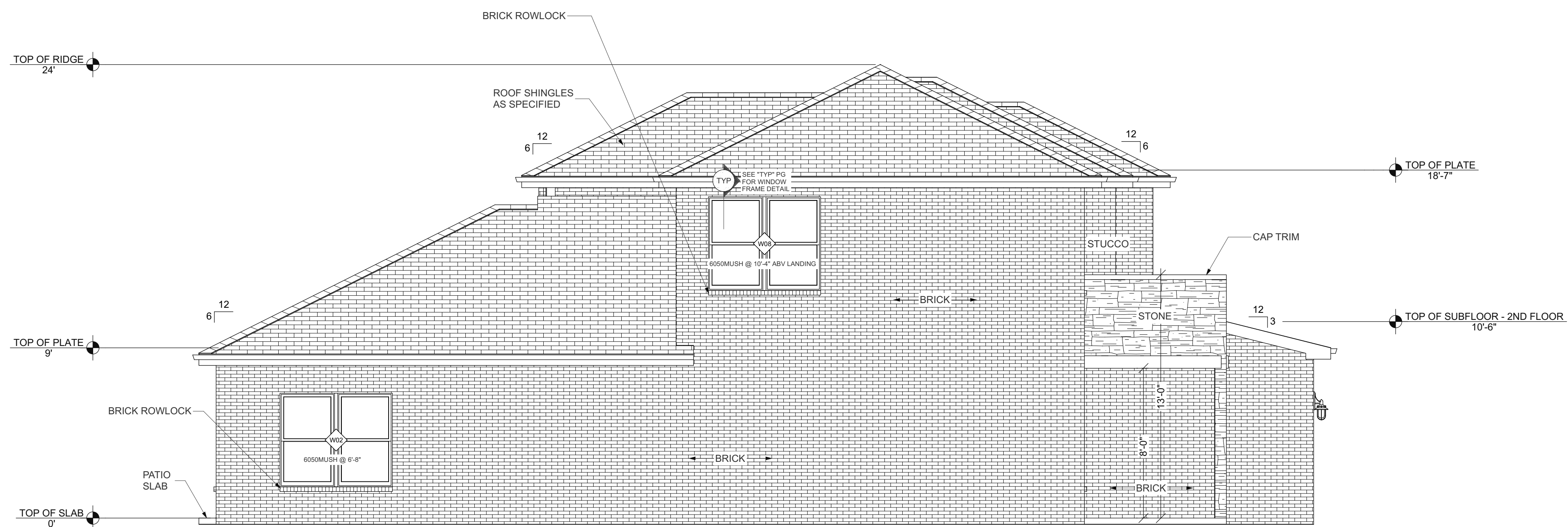
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FRONT & RIGHT ELEVATION  
 SHEET: 5 OF 8

**A2.01**



E3 REAR ELEVATION  
 A2.02 1/4" = 1'-0"



E4 LEFT ELEVATION  
 A2.02 1/4" = 1'-0"

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PROJECT NO. 150948  
 DRAWN BY: JAW  
 CLIENT: 150948  
 APPROVED BY: [Signature]

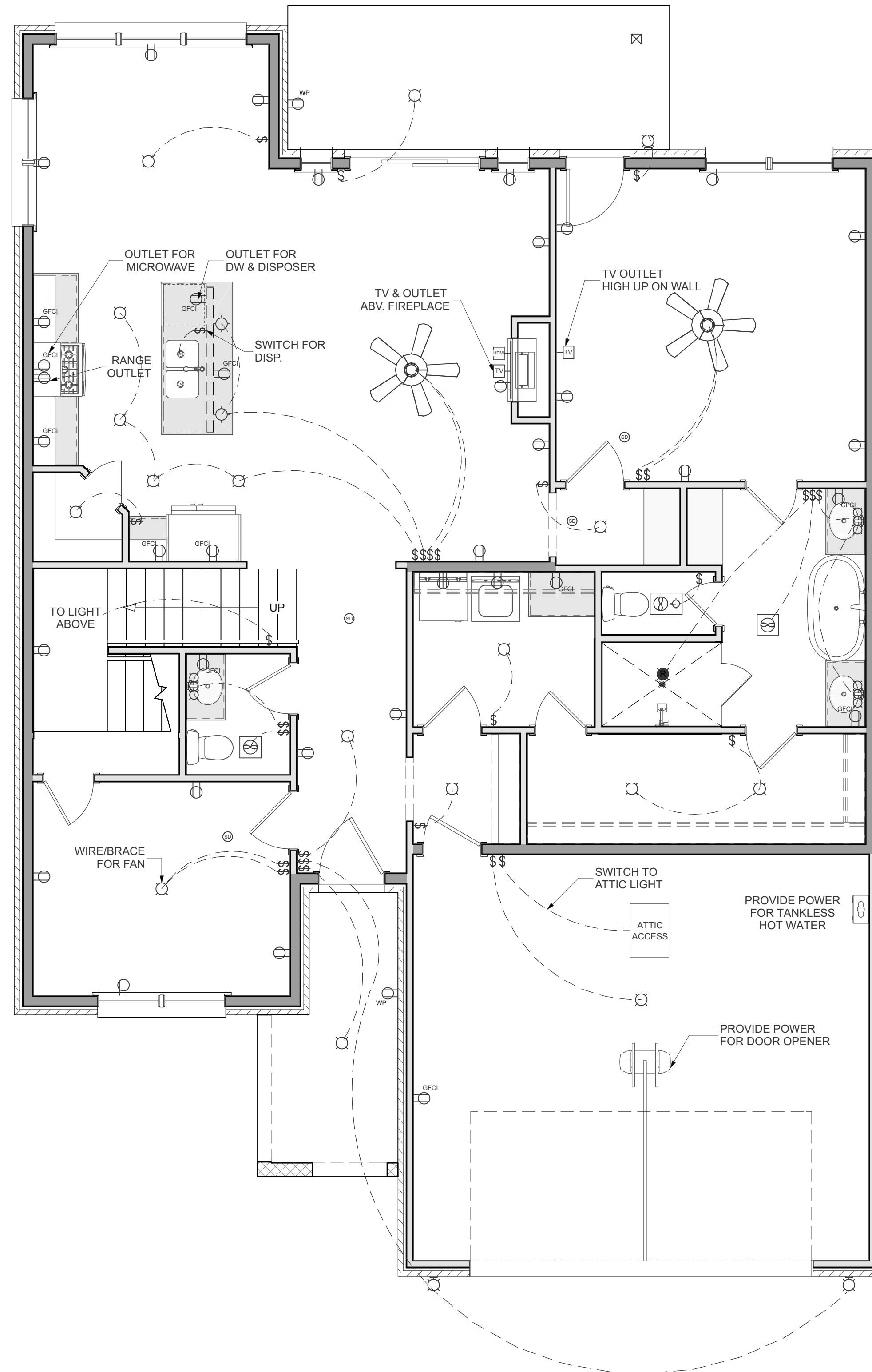
REAR & LEFT ELEVATION  
 SHEET: 6 OF 8

**A2.02**

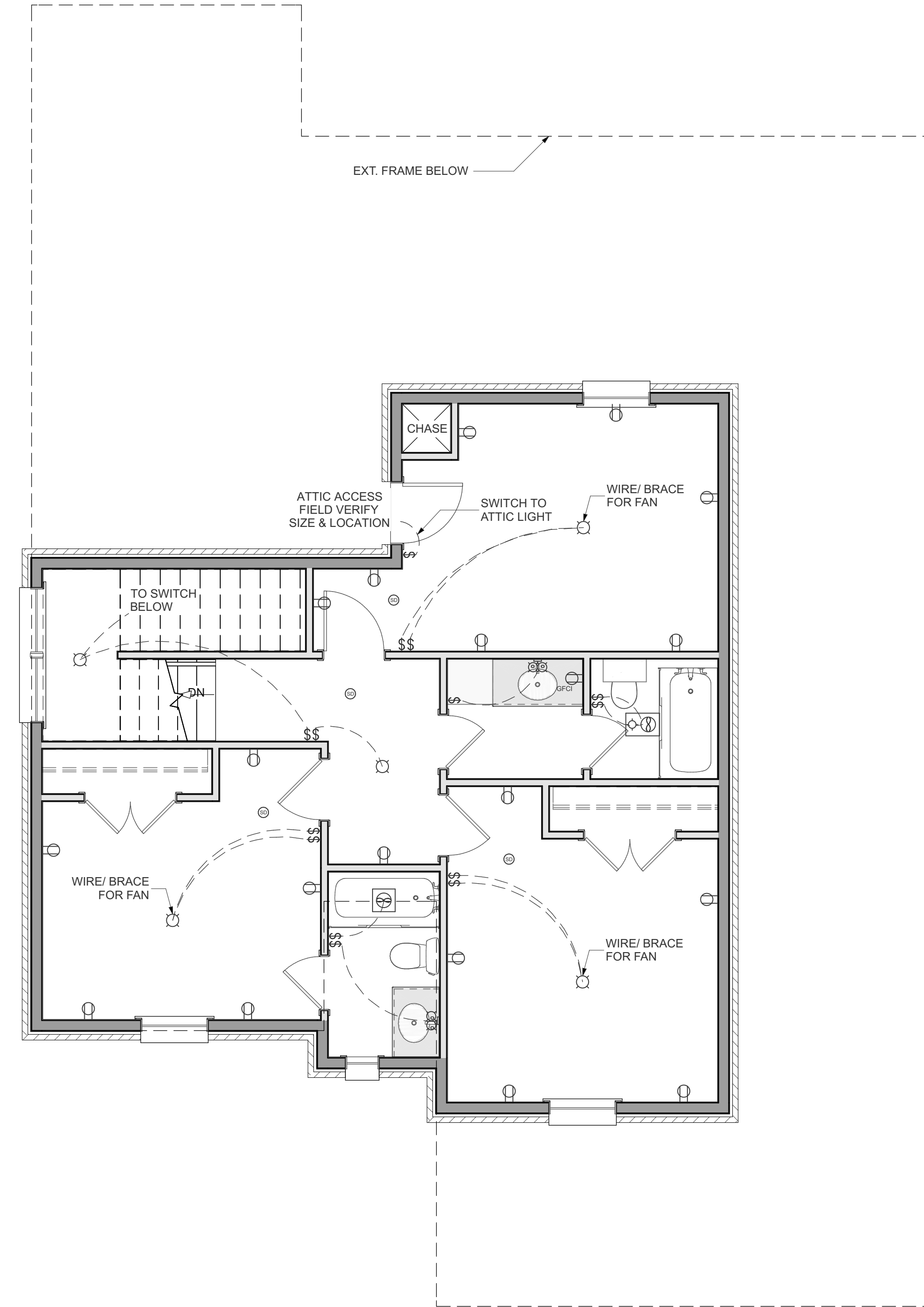
**ELECTRICAL NOTES:**

- ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE HAVING JURISDICTION AND THE NATIONAL ELECTRICAL CODE. ALL MATERIALS SHALL BEAR AN UNDERWRITERS LABORATORIES LABEL OR BE U.L. LISTED. WORKMANSHIP SHALL BE IN ACCORDANCE WITH GOOD TRADE PRACTICES. ALL EXCAVATING AND BACKFILLING REQUIRED FOR ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
- CONNECTIONS TO EQUIPMENT. ELECTRICAL SUBCONTRACTORS SHALL VERIFY NAMEPLATE DATA OF A/C EQUIPMENT, WATER HEATERS AND OTHER EQUIPMENT TO OBTAIN CORRECT WIRE SIZES AND ELECTRICAL SUBCONTRACTOR SHALL MAKE THE ELECTRICAL CONNECTION TO ALL EQUIPMENT REQUIRING CURRENT. ALL CONTROL WIRING SHALL BE CARRIED OUT BY THE ELECTRICAL SUBCONTRACTOR AS DIRECTED BY MECHANICAL CONTRACTORS.
- OVERHEAD ELECTRICAL CONDUCTOR CLEARANCES, HORIZONTAL AND VERTICAL SHALL BE MAINTAINED.
- ALL WIRING CONDUCTORS SHALL BE INSULATED ELECTRICAL GRADE ANNEALED COPPER.
- ALL WIRE TO BE INSIDE ELECTRICAL NON-METALLIC TUBING (AKA SMURF). ALL EXTERIOR AND ALL-WEATHER LOCATIONS TO HAVE GRAY RIGID PVC ELECTRICAL CONDUIT.
- ALL #12 AND #10 WIRE TO BE SOLID. WIRES LARGER THAN #10 TO BE STRANDED IN ACCORDANCE WITH ASTM.
- BATHROOM, GARAGE, AND EXTERIOR RECEPTACLES SHALL BE EQUIPPED WITH GROUND FAULT CIRCUIT INTERRUPTERS.
- SMOKE DETECTORS SHALL BE HARD WIRED (110 VOLT) TO A NON-SWITCHABLE KITCHEN OR BATHROOM LIGHTING CIRCUIT AND SHALL NOT BE CONNECTED ON TO THE LOAD SIDE OF A GROUND FAULT INTERRUPTER.
- FURNISH AND INSTALL UNDERGROUND RACEWAYS FOR POWER COMPANY SERVICE AND TELEPHONE COMPANY SERVICE AS PER UTILITY COMPANY SPECIFICATIONS AND COORDINATE THE EXACT ROUTING OF THESE RACEWAYS WITH THE UTILITY COMPANY.
- VERIFY EXACT LOCATION OF ELECTRICAL OUTLETS AND LIGHTS PRIOR TO EXECUTION OF ROUGH-IN WORK.
- ALL RACEWAYS AND NON-CURRENT CARRYING METAL ENCLOSURES SHALL BE MECHANICALLY AND ELECTRICALLY GROUNDED.
- ALL RACEWAYS IN FINISHED AREAS SHALL BE CONCEALED AND ALL OUTLETS IN FINISHED AREAS SHALL BE MOUNTED FLUSH WITH FINISHED WALLS
- ALL WORK SHALL BE RIGIDLY MOUNTED AND SUPPORTED.
- ELECTRICAL OUTLETS, RECEPTACLES AND LIGHTING BELOW BASE FLOOD ELEVATION SHALL BE INSTALLED AT HIGHEST PERMITTED ELEVATION AND SHALL BE INSTALLED ON A SEPARATE INDEPENDENT CIRCUIT FROM THOSE IN HABITABLE AREAS.
- ALL WATER HEATERS SHALL BE MECHANICALLY GROUNDED.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ventilation Fan(Light): Ceiling Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Quadplex, GFCI
	110V Receptacles: Duplex, Weather Proof, GFCI
	110V Receptacles: Duplex, Floor Mounted
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	Recessed Vapor Light



01  
E1.01 ELECTRICAL PLAN - 1ST FLOOR  
1/4" = 1'-0"



02  
E1.01 ELECTRICAL PLAN - 2ND FLOOR  
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2370 SF
LOWER FRAME FOOTAGE - 1475 SF
UPPER FRAME FOOTAGE - 818 SF
FRONT PORCH FOOTAGE - 85 SF
BACK PATIO FOOTAGE - 76 SF
GARAGE AREA - 428 SF
UNDER ROOF FRAME FOOTAGE - 2880 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 1988 SF

  
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**BONUS (B)**  
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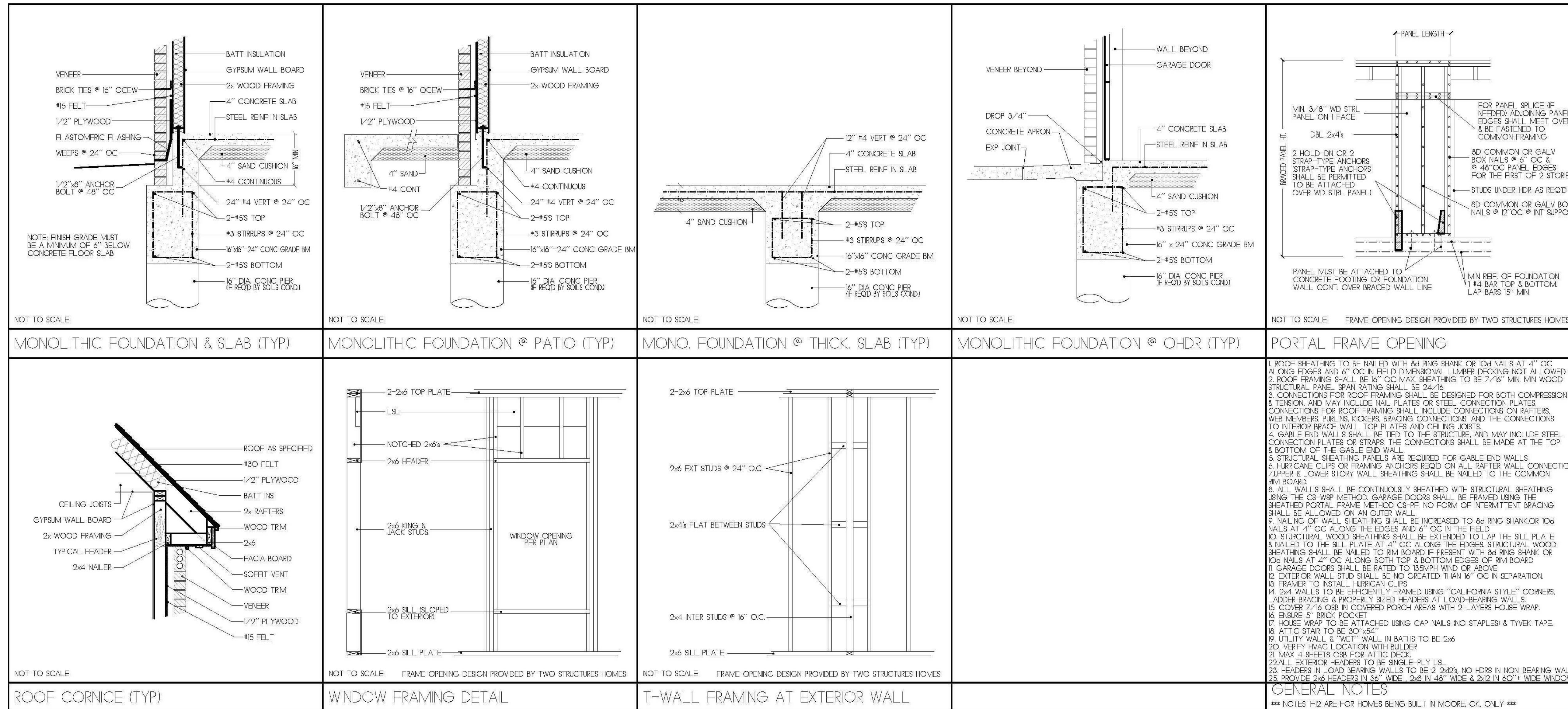
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 APPROVED BY: [Signature]  
 CLIENT: [Signature]

ELECTRICAL PLAN

SHEET: 7 OF 8

E1.01





NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2370 SF
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CONTRACTOR/BUILDER TO ENSURE THAT ALL ASPECTS OF THIS BUILDING MEET LOCAL CODES. THE DESIGN OF ALL STRUCTURAL ELEMENTS (BEAMS, FOUNDATION, ETC.) ARE TO BE COMPLETED BY A STATE REGISTERED STRUCTURAL ENGINEER & SUBMITTED TO THE CONTRACTOR/BUILDER IN A SIGNED & SEALED SET OF DRAWINGS PRIOR TO CONSTRUCTION

THESE DETAILS ARE RECOMMENDED MINIMUMS ONLY AND ARE NOT INTENDED TO SUPERCEDE LOCAL CITY/NEIGHBORHOOD APPROVED/REQUIRED BUILDING STANDARDS. CONTRACTOR IS RESPONSIBLE FOR THE SELECTION AND IMPLEMENTATION OF THE PROPER BUILDING DETAILS/METHODS.

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 Edmond, OK 73012

CLIENT: [ ]  
 APPROVED BY: [ ]  
 DRAWN BY: [ ]