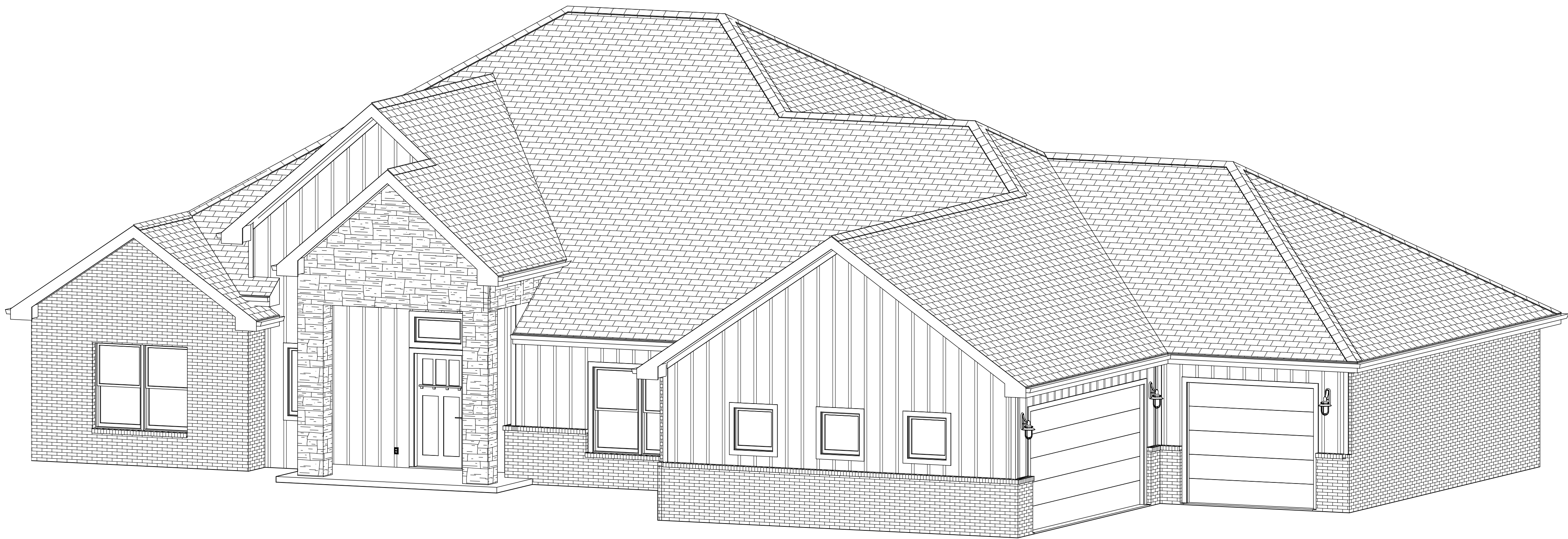


$$1'' = 20'-0''$$

INDEX OF DRAWINGS



TWO STRUCTURES HOMES

INDEX			
LABEL	TITLE	DESCRIPTION	COMMENTS
	COVER SHEET		
A1.01	FLOOR PLAN		
A1.02	ROOF PLAN		
A2.01	FRONT & RIGHT ELEVATION		
A2.02	REAR & LEFT ELEVATION		
E1.01	ELECTRICAL PLAN		
TYP.	TYPICAL DETAILS		

GENERAL NOTES:

1. THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
2. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL BUILDING CODES AND ORDINANCES, MANUFACTURING'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES.
3. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY, OR LOSS AT THE JOB SITE TO ALL PERSONS EMPLOYED TO DO WORK, PERSONS VISITING THE SITE AND THE GENERAL PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO MATERIALS OR EQUIPMENT AN OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
4. NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR CONSENT OF TWO STRUCTURES HOMES LLC.
5. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. TWO STRUCTURES SHALL BE CONSULTED FOR CLARIFICATION IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
6. CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES, HE SHALL NOTIFY TWO STRUCTURES HOMES LLC.
7. PLUMBING AND A/C SHALL CONFORM TO THE STATE OF OKLAHOMA ENERGY CODE.
8. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE.
9. PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
10. NO PIPES CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	OD	OUTER DIAMETER
AV	AUDIO VISUAL	O/O	OUT TO OUT
BO	BOTTOM OF	PSI	POUNDS PER SQUARE INCH
CL	CENTERLINE	PT	PRESSURE TREATED
CLG	CEILING	RCP	REFLECTED CEILING PLAN
CMU	CONCRETE MASONRY UNIT	RE	REFERENCE
CO	CLEAN OUT	REF	REFRIGERATOR
CONC.	CONCRETE	REQ'D	REQUIRED
D	DRYER	RO	ROOF OPENING
DIA	DIAMETER	SH	SINGLE HUNG
DTLS	DETAILS	STL	STEEL
DW	DISHWASHER	THK	THICK
E	ELECTRICAL METER	TO	TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOW	TOP OF WALL
FX	FIXED	TYP	TYPICAL
GA	GAUGE	UN.O	UNLESS NOTED OTHERWISE
GAL	GALLON	VTR	VENT TO ROOF
GYP BD	GYPSUM BOARD	W	WASHER
HB	HOSE BIB	WC	WATER CLOSET
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	WD	WOOD
ID	INNER DIAMETER	W/D	WASHER/DRYER
NIC	NOT IN CONTRACT	WH	WATER HEATER
NTS	NOT TO SCALE		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MIN	MINIMUM		
MU	MULLED UNIT		

WALL FRAMING NOTES

EXTERIOR/INSULATED WALLS = 2x6 #2's @ 24" O.C.
EXTERIOR GARAGE WALLS = 2x4 #2's @ 16" O.C.
INTERIOR LOAD-BEARING WALLS = 2x4 #2's @ 16" O.C.
INTERIOR NON-LOAD-BEARING WALLS = 2x4 #2's @ 24" O.C.
UTILITY WALL @ W&D = 2x6 #2's @ 24" O.C.

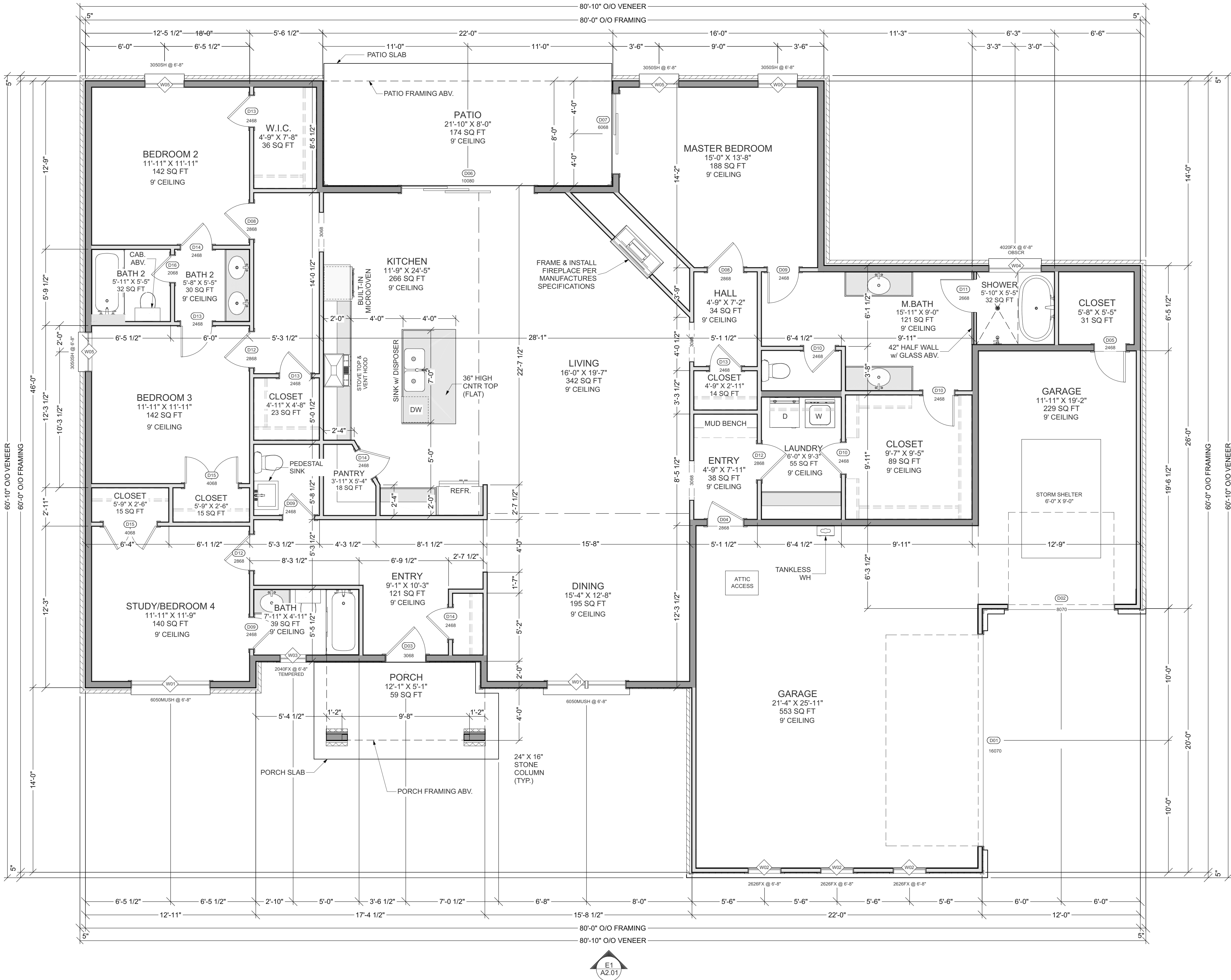
WALL SCHEDULE	
2D SYMBOL	WALL TYPE(S)
	BRICK-4
	BRICK-6
	BOARD & BATTEN-4/BRICK-4
	BOARD & BATTEN-6/BRICK-6
	BOARD & BATTEN-6
	SIDING-6
	STONE-6
	INTERIOR-4
	INTERIOR-6

DOOR SCHEDULE								
NUMBER	LABEL	QTY	WIDTH	HEIGHT	THICKNESS	SWING SIDE	HINGE SIDE	DESCRIPTION
D01	16070	1	192"	84"	1 3/4"	IN		GARAGE-SLAB
D02	8070	1	96"	84"	1 3/4"	IN		GARAGE-SLAB
D03	3068	1	36"	80"	1 3/8"	IN	L	EXT. HINGED-DOOR
D04	2868	1	32"	80"	1 3/8"	IN	R	EXT. HINGED-DOOR
D05	2468	1	28"	80"	1 3/4"	OUT	L	EXT. HINGED-PANEL
D06	10080	1	120"	96"	1 3/4"	IN	R	EXT. PANEL SLIDER-GLASS PANEL
D07	6068	1	72"	80"	1 3/4"	IN	L	EXT. SLIDER-GLASS PANEL
D08	2868	2	32"	80"	1 3/8"	IN	L	HINGED-PANEL
D09	2468	3	28"	80"	1 3/8"	IN	R	HINGED-PANEL
D10	2468	3	28"	80"	1 3/8"	IN	L	HINGED-PANEL
D11	2667	1	30"	79 1/4"	1/2"	OUT	R	SHOWER-GLASS SLAB
D12	2868	3	32"	80"	1 3/8"	IN	R	HINGED-PANEL
D13	2468	4	28"	80"	1 3/8"	OUT	R	HINGED-PANEL
D14	2468	3	28"	80"	1 3/8"	OUT	L	HINGED-PANEL
D15	4068	2	48"	80"	1 3/8"	OUT	L/R	DOUBLE HINGED-PANEL
D16	2068	1	24"	80"	1 3/8"	IN	R	HINGED-PANEL

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	WIDTH	HEIGHT	TOP	DESCRIPTION	FINISH	GLAZING TYPE	DIVIDED LITES
W01	6050MUSH	2	72"	60"	80"	MULLED UNIT SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	
W02	2626FX	3	30"	30"	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1
W03	2040FX	1	24"	48"	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1
W04	4020FX	1	48"	24"	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1
W05	3050SH	4	36"	60"	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1
W06	3016FX	1	36"	18"	106"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1

PLEASE NOTE:

SOME SELECTIONS MAY BE DEEMED AN UPGRADE. IN THE EVENT, THERE WILL BE AN UPGRADE FEE WHICH CAN BE DISCUSSED AT YOUR PRE-CONSTRUCTION MEETING. AFTER PRECON, ALL SELECTIONS WILL BE CONSIDERED FINAL.



01 FLOOR PLAN
A1.01 1/4" = 1'-0"

THE CEDAR RIDGE (B)
10108 NW 94th St
Yukon, OK 73099

FLOOR PLAN

SHEET: 2 OF 7

A1.01

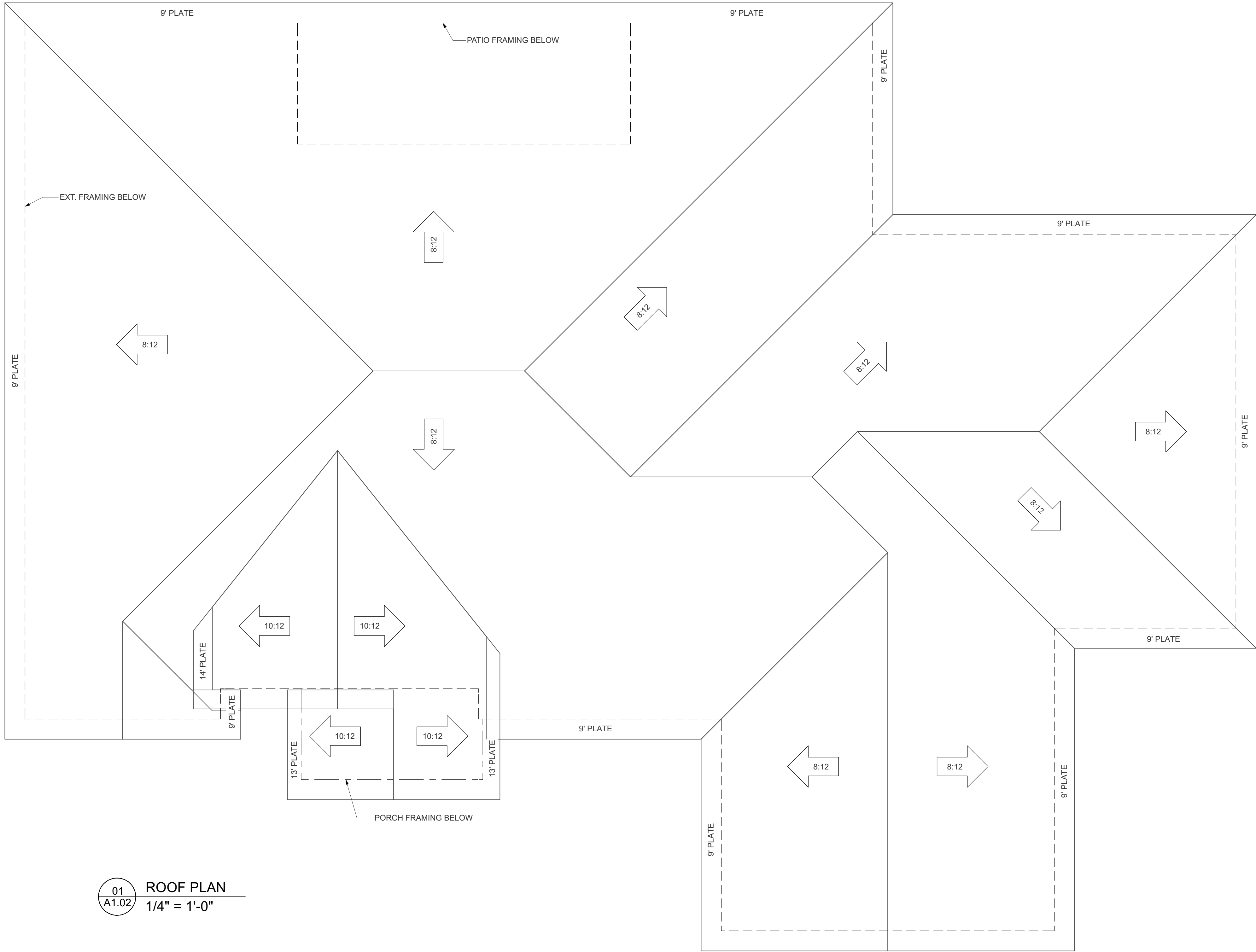


TWO STRUCTURES HOMES
2414 NW 178th St Edmond, OK 73012 - (405) 659-9455 - www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

NO.	DESCRIPTION	BY	DATE

VENUE (LIVING) FOOTAGE - 2582 SF
FRAME FOOTAGE - 2517 SF
FRONT PORCH FOOTAGE - 71 SF
BACK PATIO FOOTAGE - 176 SF
GARAGE AREA - 853 SF
FOOTPRINT (FRAME) FOOTAGE - 3617 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 3417 SF



01 ROOF PLAN
A1.02 1/4" = 1'-0"

THE CEDAR RIDGE (B)
10108 NW 94th St
Yukon, OK 73099



TWO STRUCTURES HOMES

2414 NW 178th St Edmond, OK 73012 - (405) 569-9435 - www.twostructureshomes.com

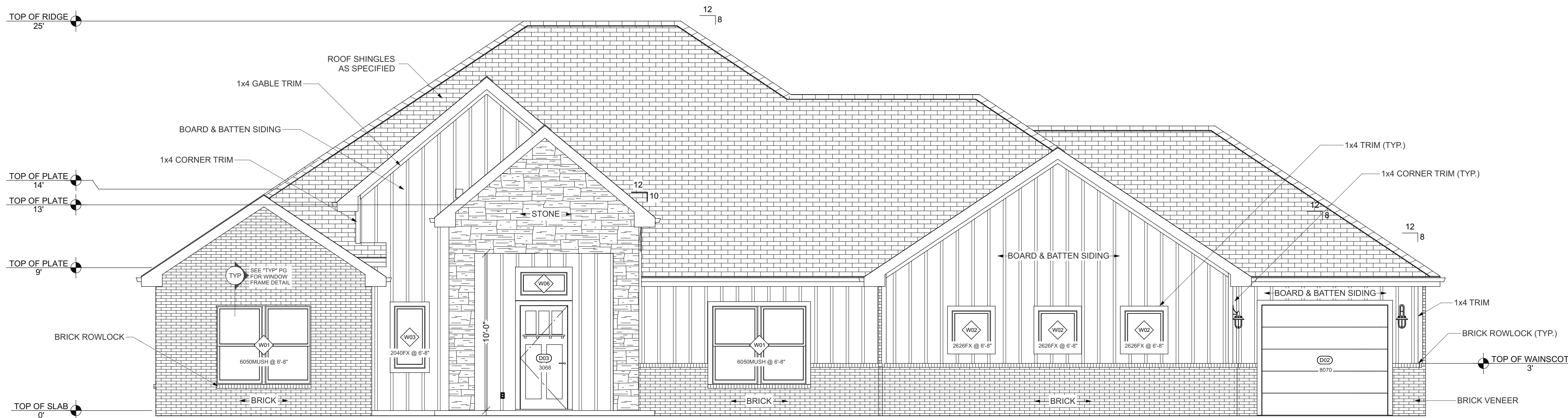
COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF TWO STRUCTURES HOMES LLC.

ROOF PLAN

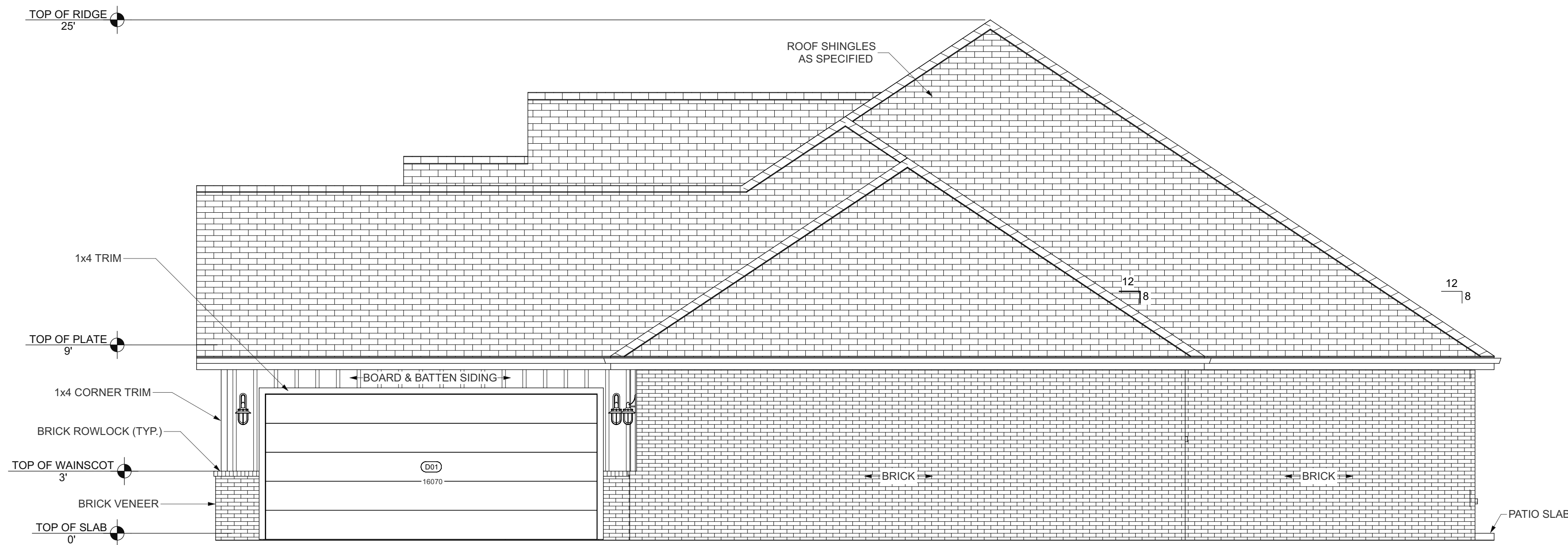
SHEET: 3 OF 7

A1.02

NO.	DESCRIPTION	BY	DATE
	VENEER (LIVING) FOOTAGE - 2582 SF		
	FRAME FOOTAGE - 2517 SF		
	FRONT PORCH FOOTAGE - 71 SF		
	BACK PATIO FOOTAGE - 176 SF		
	GARAGE AREA - 853 SF		
	FOOTPRINT (FRAME) FOOTAGE - 3617 SF		
	FOOTPRINT (FOUNDATION) FOOTAGE - 3477 SF		



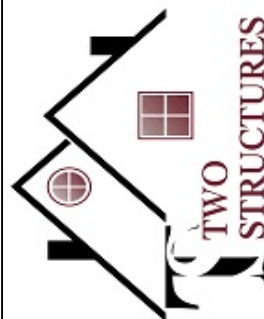
E1
A2.01
FRONT ELEVATION
1/4" = 1'-0"



E2
A2.01
RIGHT ELEVATION
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENUEER (LIVING) FOOTAGE - 2582 SF
FRAME FOOTAGE - 2517 SF
FRONT PORCH FOOTAGE - 71 SF
BACK PATIO FOOTAGE - 176 SF
GARAGE AREA - 853 SF
FOOTPRINT (FRAME) FOOTAGE - 3617 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 3477 SF



TWO STRUCTURES HOMES

2414 NW 178th St Edmond, OK 73012 - (405) 569-9435 - www.twostructureshomes.com

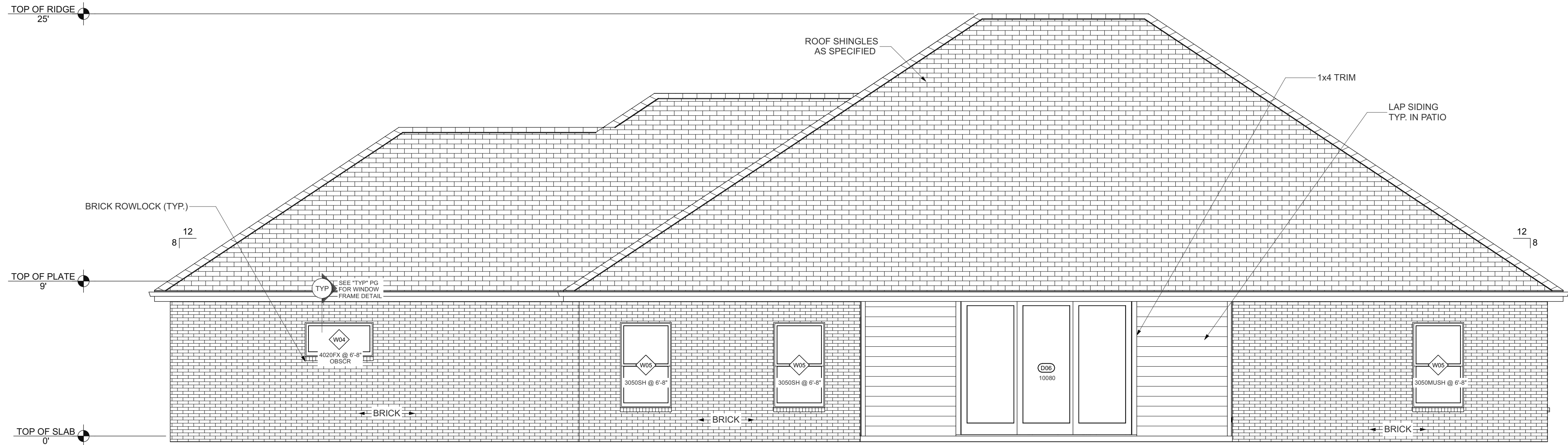
COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

THE CEDAR RIDGE (B)
10108 NW 94th St
Yukon, OK 73099

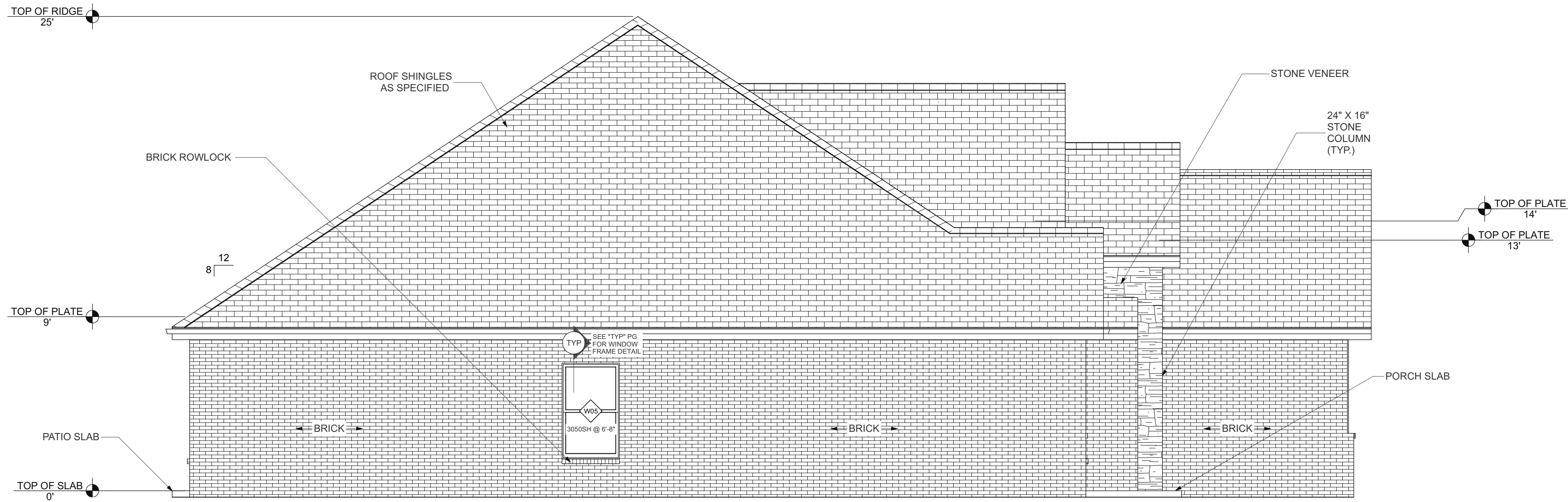
FRONT & RIGHT ELEVATION

SHEET: 4 OF 7

A2.01



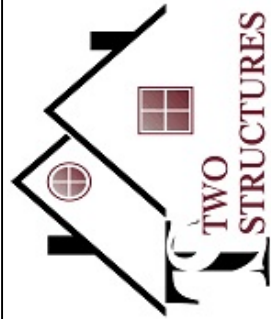
E3
A2.02 REAR ELEVATION
1/4" = 1'-0"



E4
A2.02 LEFT ELEVATION
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENUEER (LIVING) FOOTAGE - 2582 SF
FRAME FOOTAGE - 2517 SF
FRONT PORCH FOOTAGE - 71 SF
BACK PATIO FOOTAGE - 176 SF
GARAGE AREA - 853 SF
FOOTPRINT (FRAME) FOOTAGE - 3617 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 3477 SF



TWO STRUCTURES HOMES

2414 NW 178th St Edmond, OK 73012 - (405) 569-9435 - www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

THE CEDAR RIDGE (B)
10108 NW 94th St
Yukon, OK 73099

REAR & LEFT ELEVATION

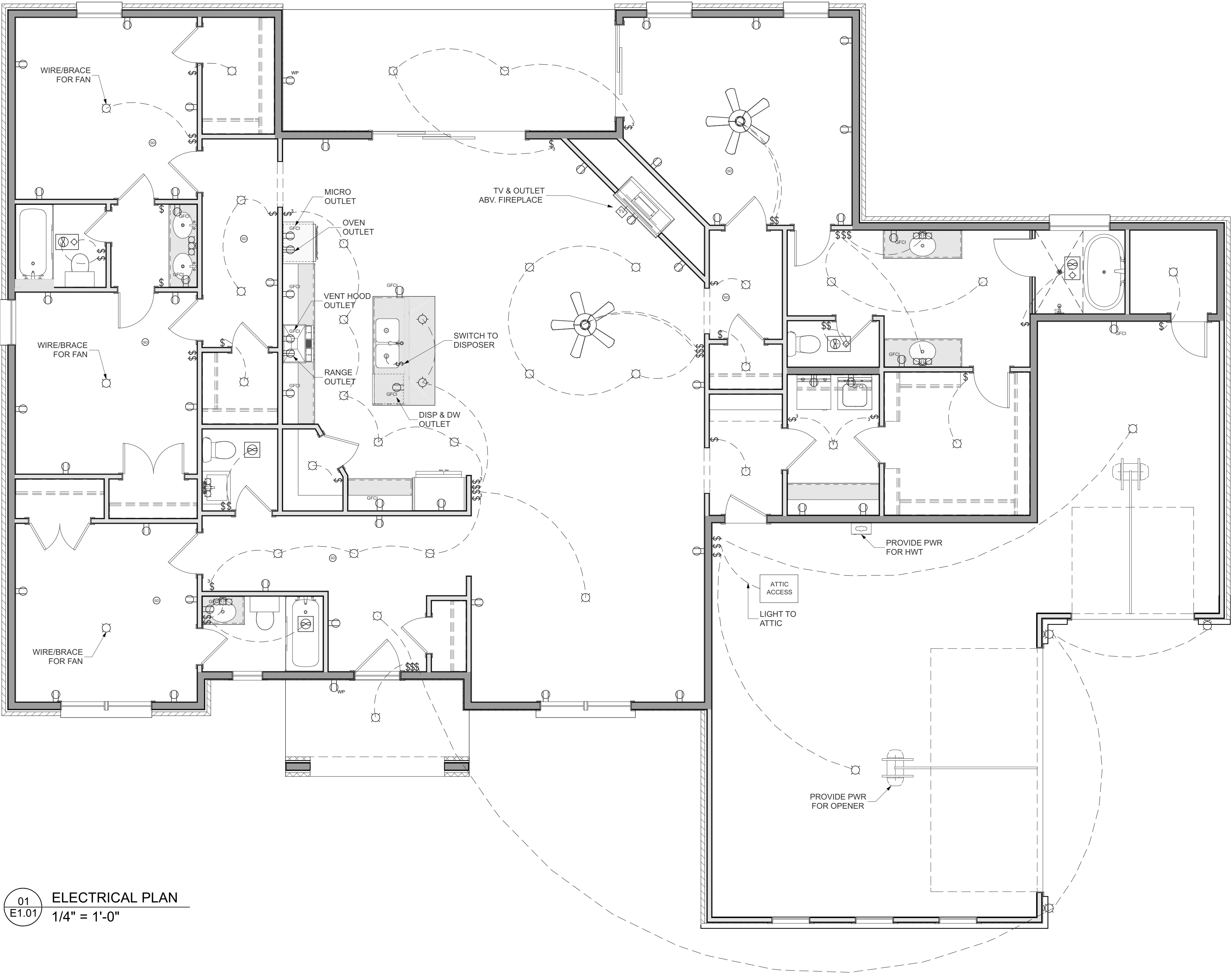
SHEET: 5 OF 7

A2.02

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE HAVING JURISDICTION AND THE NATIONAL ELECTRICAL CODE. ALL MATERIALS SHALL BEAR AN UNDERWRITERS LABORATORIES LABEL OR BE U.L. LISTED. WORKMANSHIP SHALL BE IN ACCORDANCE WITH GOOD TRADE PRACTICES. ALL EXCAVATING AND BACKFILLING REQUIRED FOR ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
2. CONNECTIONS TO EQUIPMENT: ELECTRICAL SUBCONTRACTORS SHALL VERIFY NAMEPLATE DATA OF A/C EQUIPMENT, WATER HEATERS AND OTHER EQUIPMENT TO OBTAIN CORRECT WIRE SIZES AND ELECTRICAL SUBCONTRACTOR SHALL MAKE THE ELECTRICAL CONNECTION TO ALL EQUIPMENT REQUIRING CURRENT. ALL CONTROL WIRING SHALL BE CARRIED OUT BY THE ELECTRICAL SUBCONTRACTOR AS DIRECTED BY MECHANICAL CONTRACTORS.
3. OVERHEAD ELECTRICAL CONDUCTOR CLEARANCES, HORIZONTAL AND VERTICAL SHALL BE MAINTAINED.
4. ALL WIRING CONDUCTORS SHALL BE INSULATED ELECTRICAL GRADE ANNEALED COPPER.
5. ALL WIRE TO BE INSIDE ELECTRICAL NON-METALLIC TUBING (AKA SMURF). ALL EXTERIOR AND ALL-WEATHER LOCATIONS TO HAVE GRAY RIGID PVC ELECTRICAL CONDUIT.
6. ALL #12 AND #10 WIRE TO BE SOLID. WIRES LARGER THAN #10 TO BE STRANDED IN ACCORDANCE WITH ASTM.
7. BATHROOM, GARAGE, AND EXTERIOR RECEPTACLES SHALL BE EQUIPPED WITH GROUND FAULT CIRCUIT INTERRUPTERS.
8. SMOKE DETECTORS SHALL BE HARD WIRED (110 VOLT) TO A NON-SWITCHABLE KITCHEN OR BATHROOM LIGHTING CIRCUIT AND SHALL NOT BE CONNECTED ON TO THE LOAD SIDE OF A GROUND FAULT INTERRUPTER.
9. FURNISH AND INSTALL UNDERGROUND RACEWAYS FOR POWER COMPANY SERVICE AND TELEPHONE COMPANY SERVICE AS PER UTILITY COMPANY SPECIFICATIONS AND COORDINATE THE EXACT ROUTING OF THESE RACEWAYS WITH THE UTILITY COMPANY.
10. VERIFY EXACT LOCATION OF ELECTRICAL OUTLETS AND LIGHTS PRIOR TO EXECUTION OF ROUGH-IN WORK.
11. ALL RACEWAYS AND NON-CURRENT CARRYING METAL ENCLOSURES SHALL BE MECHANICALLY AND ELECTRICALLY GROUNDED.
12. ALL RACEWAYS IN FINISHED AREAS SHALL BE CONCEALED AND ALL OUTLETS IN FINISHED AREAS SHALL BE MOUNTED FLUSH WITH FINISHED WALLS
13. ALL WORK SHALL BE RIGIDLY MOUNTED AND SUPPORTED.
14. ELECTRICAL OUTLETS, RECEPTACLES AND LIGHTING BELOW BASE FLOOD ELEVATION SHALL BE INSTALLED AT HIGHEST PERMITTED ELEVATION AND SHALL BE INSTALLED ON A SEPARATE INDEPENDENT CIRCUIT FROM THOSE IN HABITABLE AREAS.
15. ALL WATER HEATERS SHALL BE MECHANICALLY GROUNDED.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ventilation Fan(Light): Ceiling Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Quadplex, GFCI
	110V Receptacles: Duplex, Weather Proof, GFCI
	110V Receptacles: Duplex, Floor Mounted
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	Recessed Vapor Light



01
E1.01 ELECTRICAL PLAN
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2582 SF
FRAME FOOTAGE - 2517 SF
FRONT PORCH FOOTAGE - 71 SF
BACK PATIO FOOTAGE - 176 SF
GARAGE AREA - 853 SF
FOOTPRINT (FRAME) FOOTAGE - 3617 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 3477 SF



TWO STRUCTURES HOMES
2414 NW 178th St Edmond, OK 73012 - (405) 669-9435 - www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM TWO STRUCTURES HOMES LLC.

THE CEDAR RIDGE (B)
10108 NW 94th St
Yukon, OK 73099

PROJECT NO.
10108

DRAWN BY:
JW

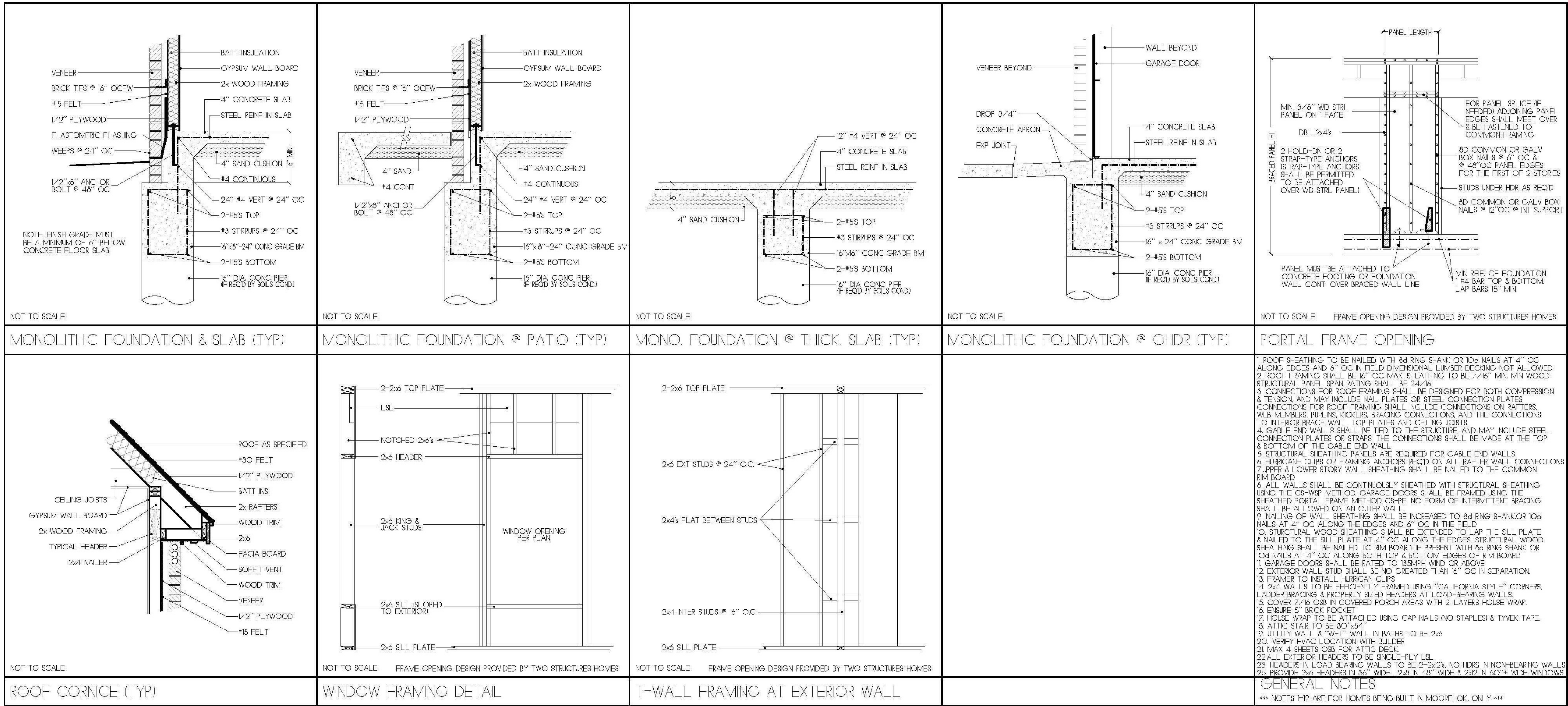
APPROVED BY:
[Signature]

CLIENT
[Signature]

ELECTRICAL PLAN

SHEET: 6 OF 7

E1.01



CONTRACTOR/BUILDER TO ENSURE THAT ALL ASPECTS OF THIS BUILDING MEET LOCAL CODES. THE DESIGN OF ALL STRUCTURAL ELEMENTS (BEAMS, FOUNDATION, ETC.) ARE TO BE COMPLETED BY A STATE REGISTERED STRUCTURAL ENGINEER & SUBMITTED TO THE CONTRACTOR/BUILDER IN A SIGNED & SEALED SET OF DRAWINGS PRIOR TO CONSTRUCTION

THESE DETAILS ARE RECOMMENDED MINIMUMS ONLY AND ARE NOT INTENDED TO SUPERCEDE LOCAL CITY/NEIGHBORHOOD APPROVED/REQUIRED BUILDING STANDARDS. CONTRACTOR IS RESPONSIBLE FOR THE SELECTION AND IMPLEMENTATION OF THE PROPER BUILDING DETAILS/METHODS.

NO.	DESCRIPTION	BY	DATE

VENEE (LIVING) FOOTAGE - 2582 SF
FRAME FOOTAGE - 2517 SF
FRONT PORCH FOOTAGE - 71 SF
BACK PATIO FOOTAGE - 176 SF
GARAGE AREA - 853 SF
FOOTPRINT (FRAME) FOOTAGE - 3617 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 3417 SF



TWO STRUCTURES HOMES

2414 NW 17th St Edmond, OK 73012 - (405) 669-9485 - www.twostructureshomes.com

COPYRIGHT © TWO STRUCTURES HOMES LLC. ALL RIGHTS RESERVED. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK AND PROPERTY OF TWO STRUCTURES HOMES LLC AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PERMISSION IN WRITING.

THE CEDAR RIDGE (B)

10108 NW 94th St
Yukon, OK 73099

PROJECT NO.
10108

DRAWN BY:
JH

APPROVED BY:
[Signature]

CLIENT
[Signature]

TYPICAL DETAILS

SHEET: 7 OF 7

TYP.