

THE MAGNOLIA (A)

PROJECT NO.	DRAWN BY:	APPRVD BY:	CLIENT:
TSH	JM		SPEC

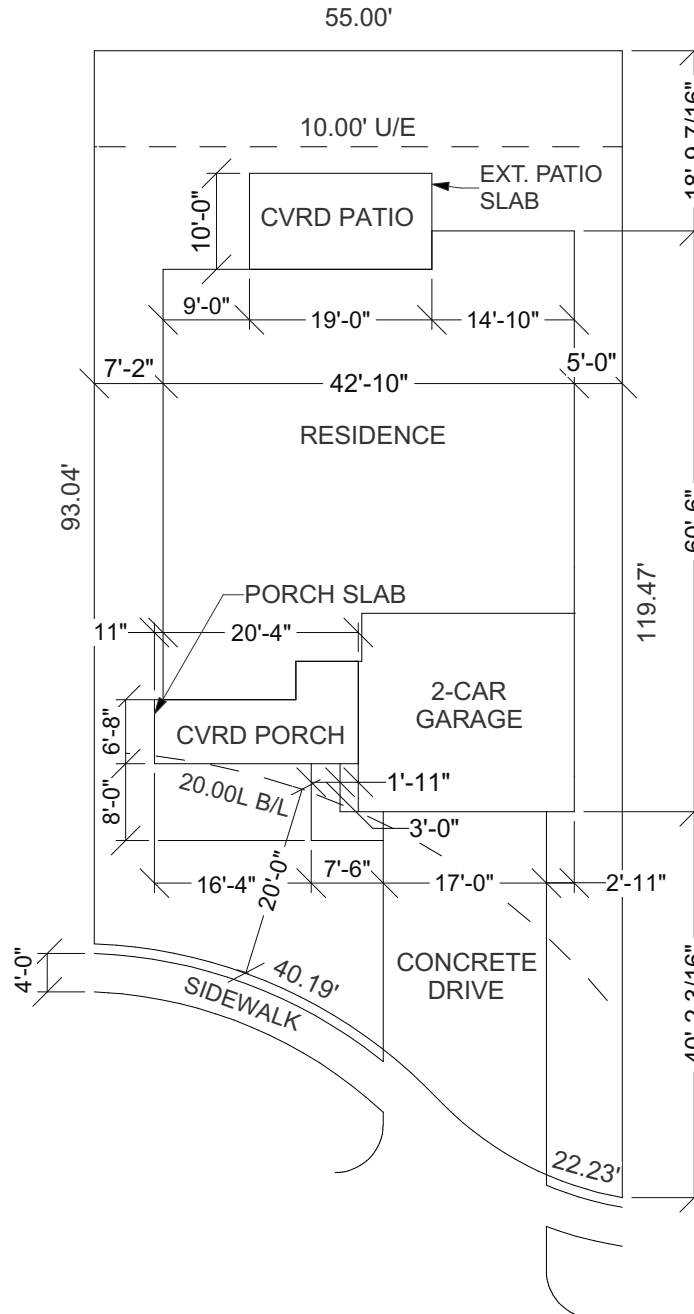
Address
14512 Chambery Court
Yukon, OK 73099

Community/ L&B
Montereau Phase 2
Lot #11, Block #16

NO.	DESCRIPTION	BY	DATE



Two Structures Homes, LLC
2414 NW 178th St
Edmond, Oklahoma 73012
(405) 509-9435
www.twostructureshomes.com



SITE PLAN
1" = 20'-0"

INDEX OF DRAWINGS



TWO STRUCTURES HOMES

INDEX			
LABEL	TITLE	DESCRIPTION	COMMENTS
	COVER SHEET		
A1.01	FLOOR PLAN - 1ST FLOOR		
A1.02	FLOOR PLAN - 2ND FLOOR		
A1.03	ROOF PLAN		
A2.01	FRONT & RIGHT ELEVATION		
A2.02	REAR & LEFT ELEVATION		
E1.01	ELECTRICAL PLAN		
TYP.	TYPICAL DETAILS		

GENERAL NOTES:

1. THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERE IN.
2. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL BUILDING CODES AND ORDINANCES, MANUFACTURING'S RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES.
3. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY, OR LOSS AT THE JOB SITE TO ALL PERSONS EMPLOYED TO DO WORK, PERSONS VISITING THE SITE AND THE GENERAL PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO MATERIALS OR EQUIPMENT AN OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
4. NO CHANGES IN THE PLANS SHALL BE MADE WITHOUT PRIOR CONSENT OF TWO STRUCTURES HOMES LLC.
5. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. TWO STRUCTURES SHALL BE CONSULTED FOR CLARIFICATION IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
6. CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES, HE SHALL NOTIFY TWO STRUCTURES HOMES LLC.
7. PLUMBING AND A/C SHALL CONFORM TO THE STATE OF OKLAHOMA ENERGY CODE.
8. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE.
9. PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, FOUNDATIONS, ETC., AS REQUIRED FOR UTILITY SERVICE.
10. NO PIPES CONDUITS OR JUNCTION BOXES ARE TO BE PLACED IN SLABS OR COLUMNS, UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

ABBREVIATIONS

ABV	ABOVE	O.C.	ON CENTER
AFF	ABOVE FINISHED FLOOR	OD	OUTER DIAMETER
AHU	AIR HANDLING UNIT	O/O	OUT TO OUT
AV	AUDIO VISUAL	PSI	POUNDS PER SQUARE INCH
BO	BOTTOM OF	PT	PRESSURE TREATED
CL	CENTERLINE	RCP	REFLECTED CEILING PLAN
CLG	CEILING	RE	REFERENCE
CMU	CONCRETE MASONRY UNIT	REF	REFRIGERATOR
CO	CLEAN OUT	REQ'D	REQUIRED
CONC.	CONCRETE	RO	ROOF OPENING
D	DRYER	SH	SINGLE HUNG
DIA	DIAMETER	STL	STEEL
DTLS	DETAILS	THK	THICK
DW	DISHWASHER	TO	TOP OF
E	ELECTRICAL METER	TOW	TOP OF WALL
FEC	FIRE EXTINGUISHER CABINET	TYP	TYPICAL
FX	FIXED	U.N.O	UNLESS NOTED OTHERWISE
GA	GAUGE	VTR	VENT TO ROOF
GAL	GALLON	W	WASHER
GYP BD	GYPSUM BOARD	WC	WATER CLOSET
HB	HOSE BIB	WD	WOOD
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	W/D	WASHER/DRYER
ID	INNER DIAMETER	WH	WATER HEATER
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MIN	MINIMUM		
MU	MULLED UNIT		

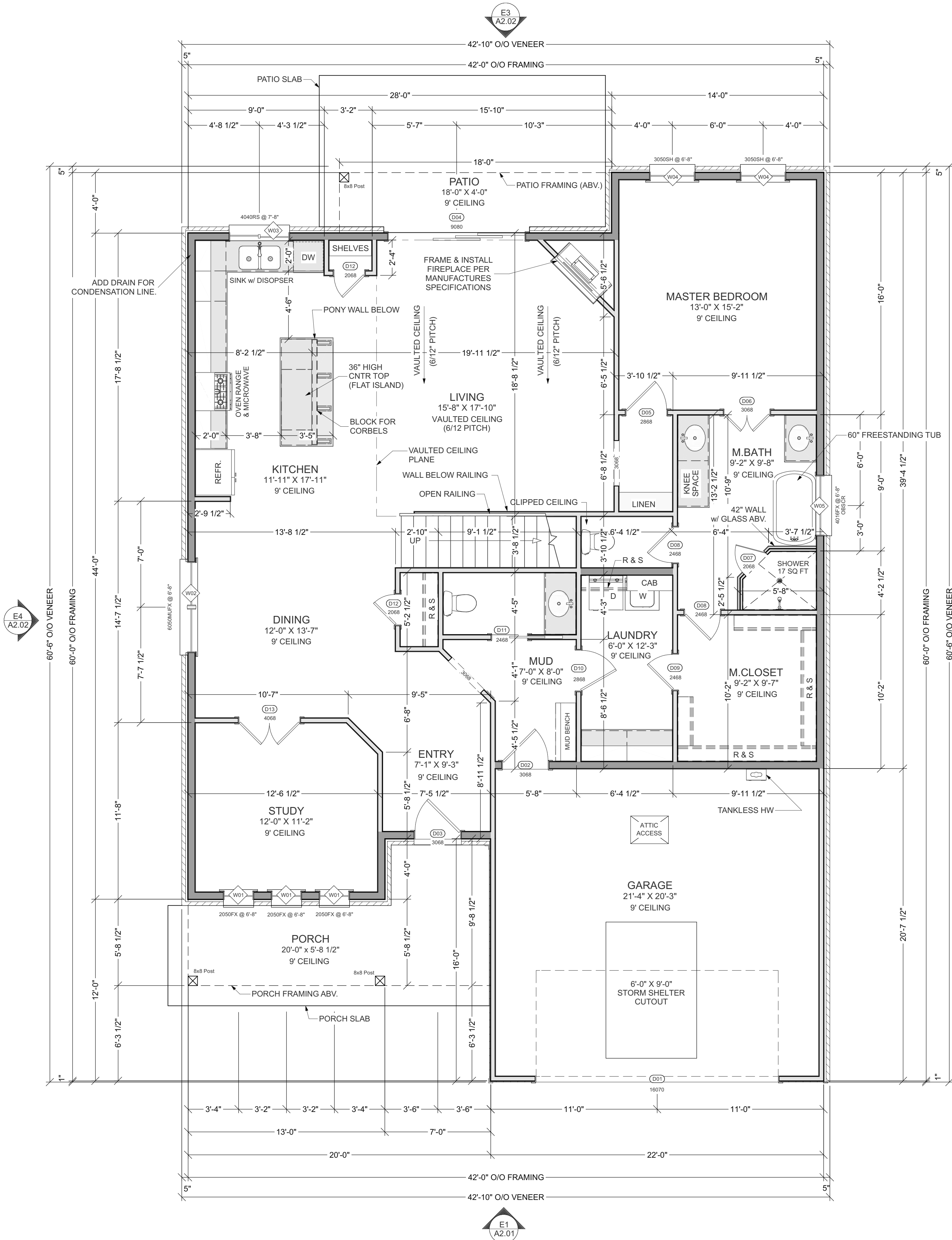
WALL SCHEDULE			
2D SYMBOL	WALL TYPE(S)		
	BOARD & BATTEN-4		
	BOARD & BATTEN-6		
	BRICK-4		
	BRICK-6		
	INTERIOR-4		
	INTERIOR-6		

WALL FRAMING NOTES

EXTERIOR/INSULATED WALLS = 2x6 #2's @ 24" O.C.
EXTERIOR GARAGE WALLS = 2x4 #2's @ 16" O.C.
INTERIOR LOAD-BEARING WALLS = 2X4 #2's @ 16" O.C.
INTERIOR NON-LOAD-BEARING WALLS = 2x4 #2's @ 24" O.C.
UTILITY WALL @ W&D = 2x6 #2's @ 24" O.C.

DOOR SCHEDULE										
NUMBER	LABEL	QTY	WIDTH	HEIGHT	THICKNESS	SWING SIDE	HINGE SIDE	DESCRIPTION	COMMENTS	
D01	16070	1	192"	84"	1 3/4"	IN		GARAGE-GARAGE DOOR		
D02	3068	1	36"	80"	1 3/8"	IN	L	EXT HINGED-DOOR	W/SELF CLOSING DEVICE	
D03	3068	1	36"	80"	1 3/4"	IN	R	EXT HINGED-DOOR		
D04	9080	1	108"	96"	1 3/4"	IN	L	EXT 3-PANEL SLIDER-GLASS PANEL		
D05	2868	3	32"	80"	1 3/8"	IN	L	HINGED-PANEL		
D06	3068	1	36"	80"	1 3/8"	IN	L/R	DOUBLE HINGED-PANEL		
D07	2068	1	24"	80"	1/2"	OUT	R	SHOWER-GLASS SLAB		
D08	2468	2	28"	80"	1 3/8"	IN	R	HINGED-PANEL		
D09	2468	4	28"	80"	1 3/8"	IN	L	HINGED-PANEL		
D10	2868	2	32"	80"	1 3/8"	IN	R	HINGED-PANEL		
D11	2468	1	28"	80"	1 3/8"	IN	R	POCKET-DOOR		
D12	2068	2	24"	80"	1 3/8"	OUT	L	HINGED-PANEL		
D13	4068	1	48"	80"	1 3/8"	IN	L/R	DOUBLE HINGED-PANEL		
D14	4068	3	48"	80"	1 3/8"	OUT	L/R	DOUBLE HINGED-PANEL		
D15	3068	1	36"	80"	1 3/4"	OUT	R	EXT. HINGED-DOOR		


WINDOW SCHEDULE										
NUMBER	LABEL	QTY	WIDTH	HEIGHT	TOP	DESCRIPTION	FINISH	GLAZING TYPE	DIVIDED LITES	COMMENTS
W01	2050FX	3	24 "	60 "	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	
W02	6050MUFX	1	72 "	60 "	80"	MULLED UNIT FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	
W03	4040RS	1	48 "	48 "	92"	RIGHT SLIDING	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	TEMPERED
W04	3050SH	4	36 "	60 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	
W05	4016FX	2	48 "	18 "	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	TEMPERED / OBSCR
W06	2010FX	2	24 "	12 "	83"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	
W07	6030RS	1	72 "	36 "	83"	RIGHT SLIDING	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	



01 A1.01 FLOOR PLAN - 1ST FLOOR
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2650 SF
LOWER FRAME FOOTAGE - 1688 SF
UPPER FRAME FOOTAGE - 886 SF
FRONT PORCH FOOTAGE - 142 SF
BACK PATIO FOOTAGE - 72 SF
GARAGE AREA - 452 SF
UNDER ROOF (FRAME) FOOTAGE - 2354 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 2216 SF



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WALL FRAMING NOTES

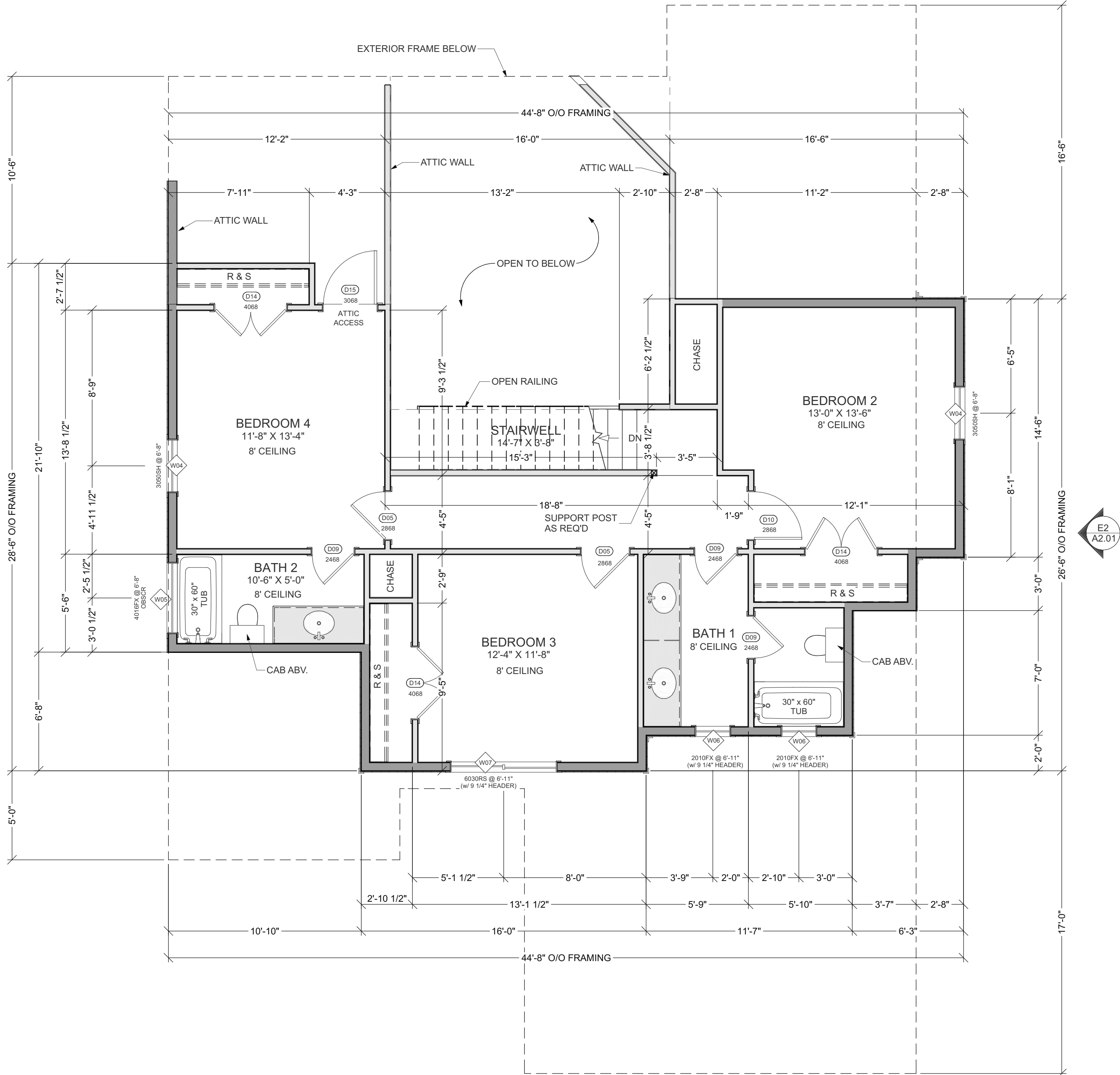
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W04	3050SH	4	36 "	60 "	80"	SINGLE HUNG	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	
W05	4016FX	2	48 "	18 "	80"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	TEMPERED / OBSDR
W06	2010FX	2	24 "	12 "	83"	FIXED GLASS	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1	
W07	6030RS	1	72 "	36 "	83"	RIGHT SLIDING	COLOR - WHITE	DOUBLE PANE WITH LOW-E	1 / 1	



01 FLOOR PLAN - 2ND FLOOR
A1.02 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENEER (LIVING) FOOTAGE - 2630 SF
LOWER FRAME FOOTAGE - 1688 SF
UPPER FRAME FOOTAGE - 686 SF
FRONT PORCH FOOTAGE - 142 SF
BACK PATIO FOOTAGE - 72 SF
GARAGE AREA - 452 SF
UNDER ROOF (FRAME) FOOTAGE - 2354 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 2216 SF



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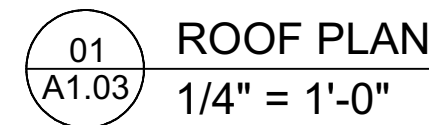
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FLOOR PLAN - 2ND FLOOR

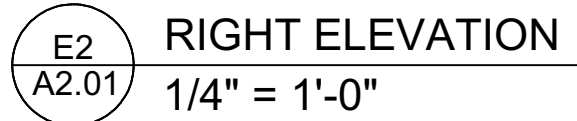
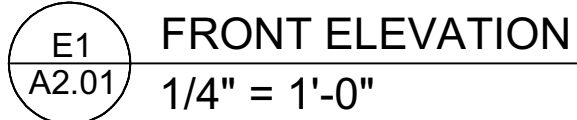
SHEET: 3 OF 8

A1.02



PROJECT NO.	ISSUED BY: JM	APPROVED BY:	CLIENT SPEC
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A1.03



VEENER (LIVING) FOOTAGE - 2650 SF
LOWER FRAME FOOTAGE - 1688 SF
UPPER FRAME FOOTAGE - 888 SF
FRONT PORCH FOOTAGE - 142 SF
BACK PATIO FOOTAGE - 72 SF
GARAGE AREA - 452 SF
UNDER ROOF (FRAME) FOOTAGE - 2354 SF
FOOTPRINT (FOUNDATION) FOOTAGE - 2216 SF



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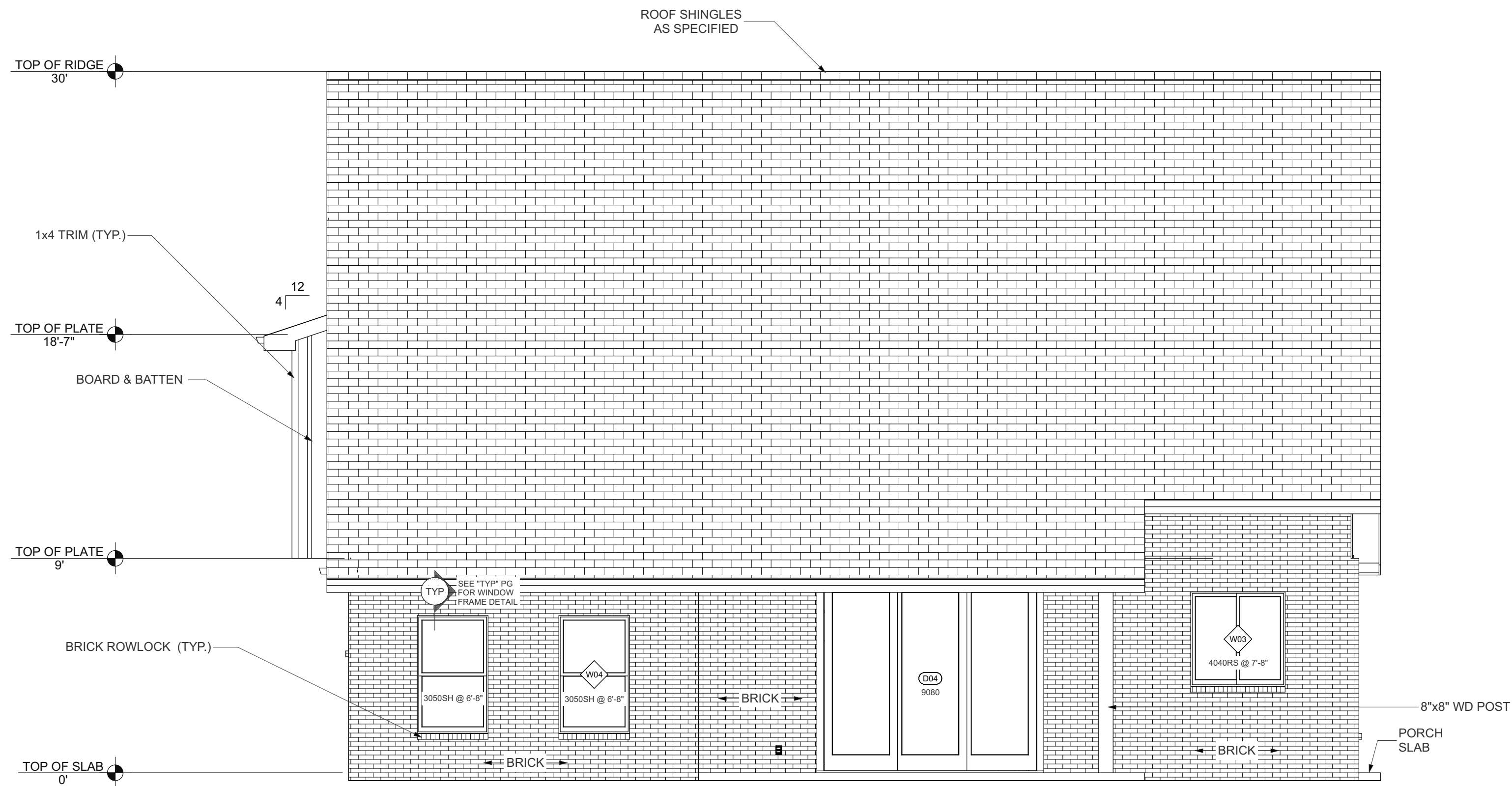
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FRONT & RIGHT ELEVATION

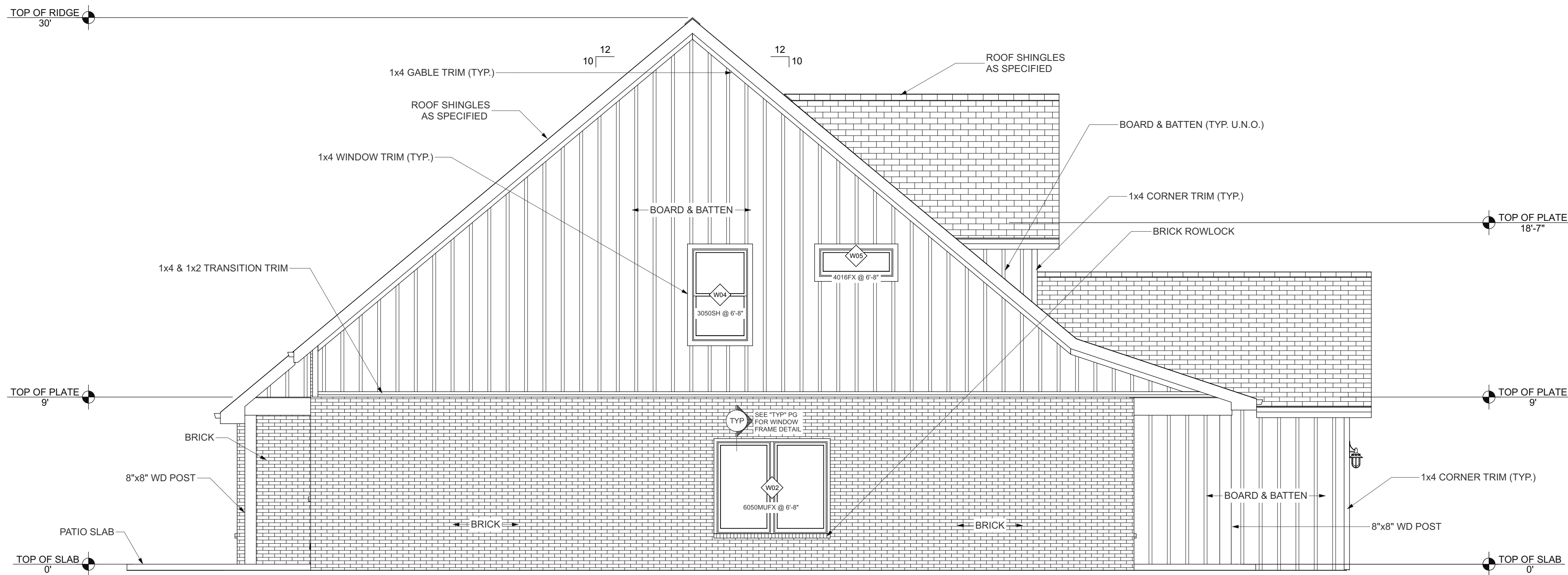
SHEET: 5 OF 8

A2.01

PROJECT NO.	DRAWN BY: JM	APPROVED BY:	CLIENT: SPEC
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E1
A2.02 REAR ELEVATION
1/4" = 1'-0"



E2
A2.02 LEFT ELEVATION
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

VENUEER (LIVING) FOOTAGE - 2650 SF
LOWER FRAME FOOTAGE - 1688 SF
UPPER FRAME FOOTAGE - 886 SF
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REAR & LEFT ELEVATION

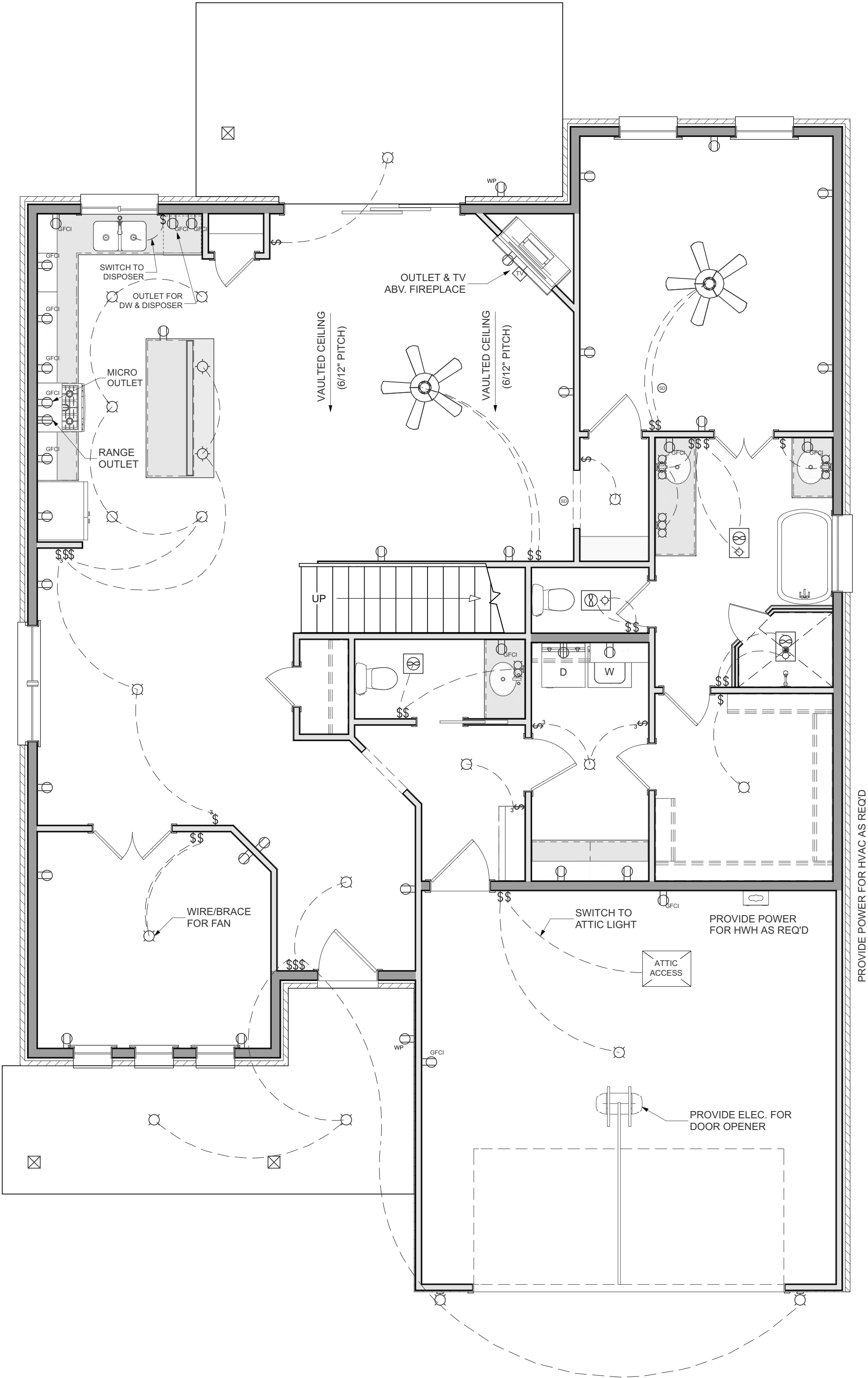
SHEET: 6 OF 8

A2.02

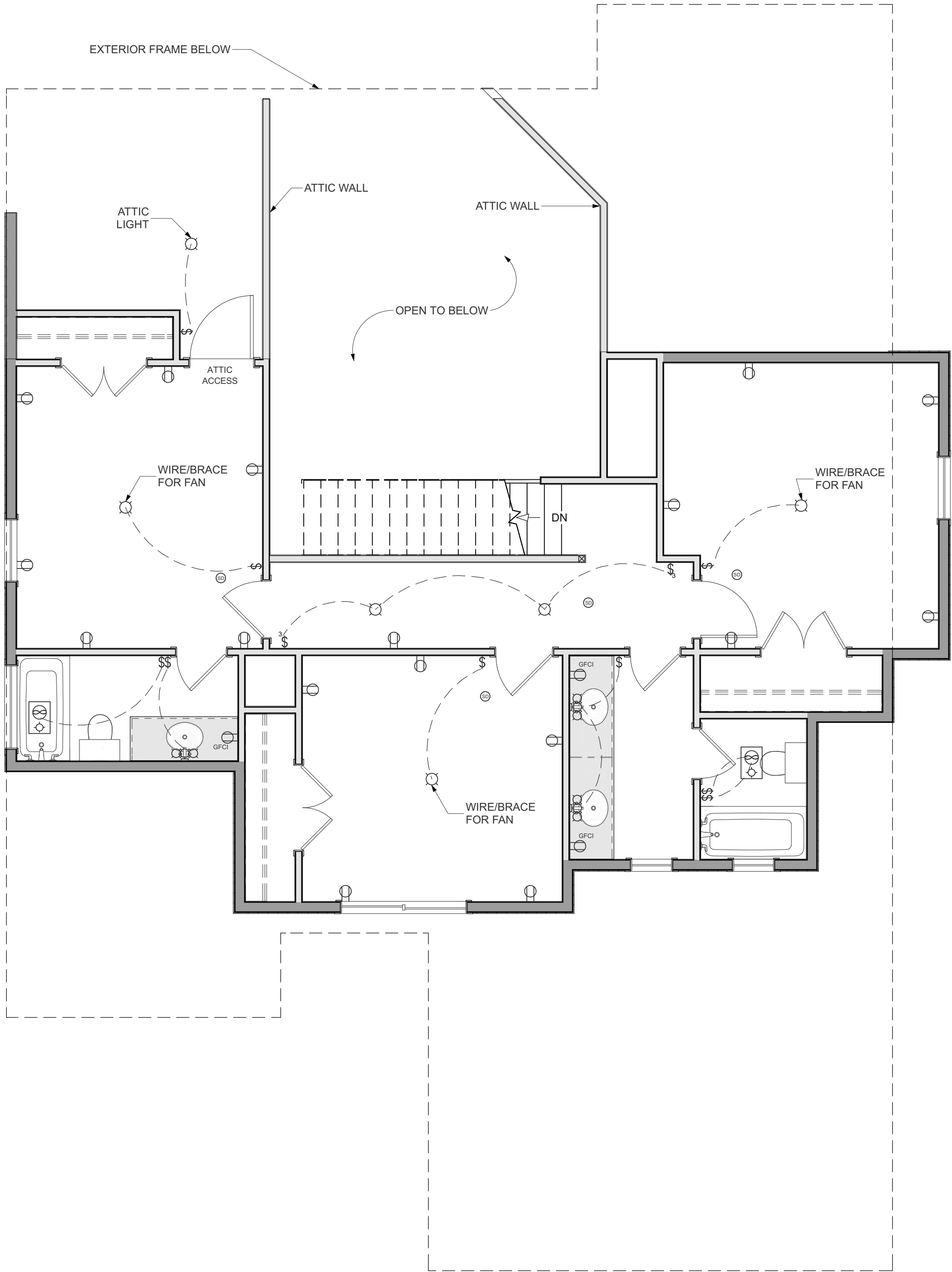
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE HAVING JURISDICTION AND THE NATIONAL ELECTRICAL CODE. ALL MATERIALS SHALL BEAR AN UNDERWRITERS LABORATORIES LABEL OR BE U.L. LISTED. WORKMANSHIP SHALL BE IN ACCORDANCE WITH GOOD TRADE PRACTICES. ALL EXCAVATING AND BACKFILLING REQUIRED FOR ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
2. CONNECTIONS TO EQUIPMENT: ELECTRICAL SUBCONTRACTORS SHALL VERIFY NAMEPLATE DATA OF A/C EQUIPMENT, WATER HEATERS AND OTHER EQUIPMENT TO OBTAIN CORRECT WIRE SIZES AND ELECTRICAL SUBCONTRACTOR SHALL MAKE THE ELECTRICAL CONNECTION TO ALL EQUIPMENT REQUIRING CURRENT. ALL CONTROL WIRING SHALL BE CARRIED OUT BY THE ELECTRICAL SUBCONTRACTOR AS DIRECTED BY MECHANICAL CONTRACTORS.
3. OVERHEAD ELECTRICAL CONDUCTOR CLEARANCES, HORIZONTAL AND VERTICAL SHALL BE MAINTAINED.
4. ALL WIRING CONDUCTORS SHALL BE INSULATED ELECTRICAL GRADE ANNEALED COPPER.
5. ALL WIRE TO BE INSIDE ELECTRICAL NON-METALLIC TUBING (AKA SMURF). ALL EXTERIOR AND ALL-WEATHER LOCATIONS TO HAVE GRAY RIGID PVC ELECTRICAL CONDUIT.
6. ALL #12 AND #10 WIRE TO BE SOLID. WIRES LARGER THAN #10 TO BE STRANDED IN ACCORDANCE WITH ASTM.
7. BATHROOM, GARAGE, AND EXTERIOR RECEPTACLES SHALL BE EQUIPPED WITH GROUND FAULT CIRCUIT INTERRUPTERS.
8. SMOKE DETECTORS SHALL BE HARD WIRED (110 VOLT) TO A NON-SWITCHABLE KITCHEN OR BATHROOM LIGHTING CIRCUIT AND SHALL NOT BE CONNECTED ON TO THE LOAD SIDE OF A GROUND FAULT INTERRUPTER.
9. FURNISH AND INSTALL UNDERGROUND RACEWAYS FOR POWER COMPANY SERVICE AND TELEPHONE COMPANY SERVICE AS PER UTILITY COMPANY SPECIFICATIONS AND COORDINATE THE EXACT ROUTING OF THESE RACEWAYS WITH THE UTILITY COMPANY.
10. VERIFY EXACT LOCATION OF ELECTRICAL OUTLETS AND LIGHTS PRIOR TO EXECUTION OF ROUGH-IN WORK.
11. ALL RACEWAYS AND NON-CURRENT CARRYING METAL ENCLOSURES SHALL BE MECHANICALLY AND ELECTRICALLY GROUNDED.
12. ALL RACEWAYS IN FINISHED AREAS SHALL BE CONCEALED AND ALL OUTLETS IN FINISHED AREAS SHALL BE MOUNTED FLUSH WITH FINISHED WALLS
13. ALL WORK SHALL BE RIGIDLY MOUNTED AND SUPPORTED.
14. ELECTRICAL OUTLETS, RECEPTACLES AND LIGHTING BELOW BASE FLOOD ELEVATION SHALL BE INSTALLED AT HIGHEST PERMITTED ELEVATION AND SHALL BE INSTALLED ON A SEPARATE INDEPENDENT CIRCUIT FROM THOSE IN HABITABLE AREAS.
15. ALL WATER HEATERS SHALL BE MECHANICALLY GROUNDED.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	Recessed Vapor Light



01
E1.01 ELECTRICAL PLAN - 1ST FLOOR
1/4" = 1'-0"



02
E1.01 ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'-0"

THE MAGNOLIA (A)
14512 Chambery Court
Yukon, OK 73099

ELECTRICAL PLAN

SHEET: 7 OF 8

E1.01



TWO STRUCTURES HOMES

2414 NW 17th St Edmond, OK 73012 - (405) 669-9435 - www.twostructureshomes.com

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VENUEER (LIVING) FOOTAGE - 2630 SF	NO.	DESCRIPTION	BY	DATE
LOWER FRAME FOOTAGE - 1688 SF				
UPPER FRAME FOOTAGE - 886 SF				
FRONT PORCH FOOTAGE - 142 SF				
BACK PATIO FOOTAGE - 72 SF				
GARAGE AREA - 452 SF				
UNDER ROOF (FRAME) FOOTAGE - 2354 SF				
FOOTPRINT (FOUNDATION) FOOTAGE - 2216 SF				

